



Little Bollington Neighbourhood Plan

2020-2030

Regulation 14 Consultation Version



July 2022

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1. Introduction

1.1 In March 2012 the Government published the National Planning Policy Framework (NPPF), which was updated In July 2018 and again in 2021. This legislation replaced the former planning regulations with a new planning rulebook which puts localism at the heart of future planning. The NPPF states ‘Neighbourhood Planning gives communities the power to develop a shared vision for their area. Neighbourhood Plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan. Neighbourhood Plans should not promote less development than set out in the strategic policies of the area, or undermine those strategic policies.’

1.2 All Neighbourhood Plans must:

- Have appropriate regard to national planning policy;
- Contribute to sustainable development;
- Be in general conformity with strategic policies in the development plan for the local area;
- Be compatible with EU obligations and human rights requirements

1.3 Preparation on the Little Bollington Neighbourhood Plan began following a Parish Meeting on 22nd November 2018. It was noted that as a Parish Meeting, a Neighbourhood Forum should be formed to prepare the Neighbourhood Plan. The Little Bollington Neighbourhood Forum was therefore formed. Consultation on the forum began on 7th February 2022 and ran until 21st March 2022, and the Little Bollington Neighbourhood Forum was officially designated on 12th April 2022. Every effort has been made to ensure that the vision, aims, objectives and policies of the Little Bollington Neighbourhood Plan reflect the views of residents, whilst having regard to local and national policies.

1.4 The Localism Act of 2011 gave new rights and powers to communities. It introduced Neighbourhood Planning into the hierarchy of spatial planning in England, giving communities the right to shape their future development at a local level. It is a powerful tool in that it has statutory weight and must be taken as a material consideration in planning decision-making.

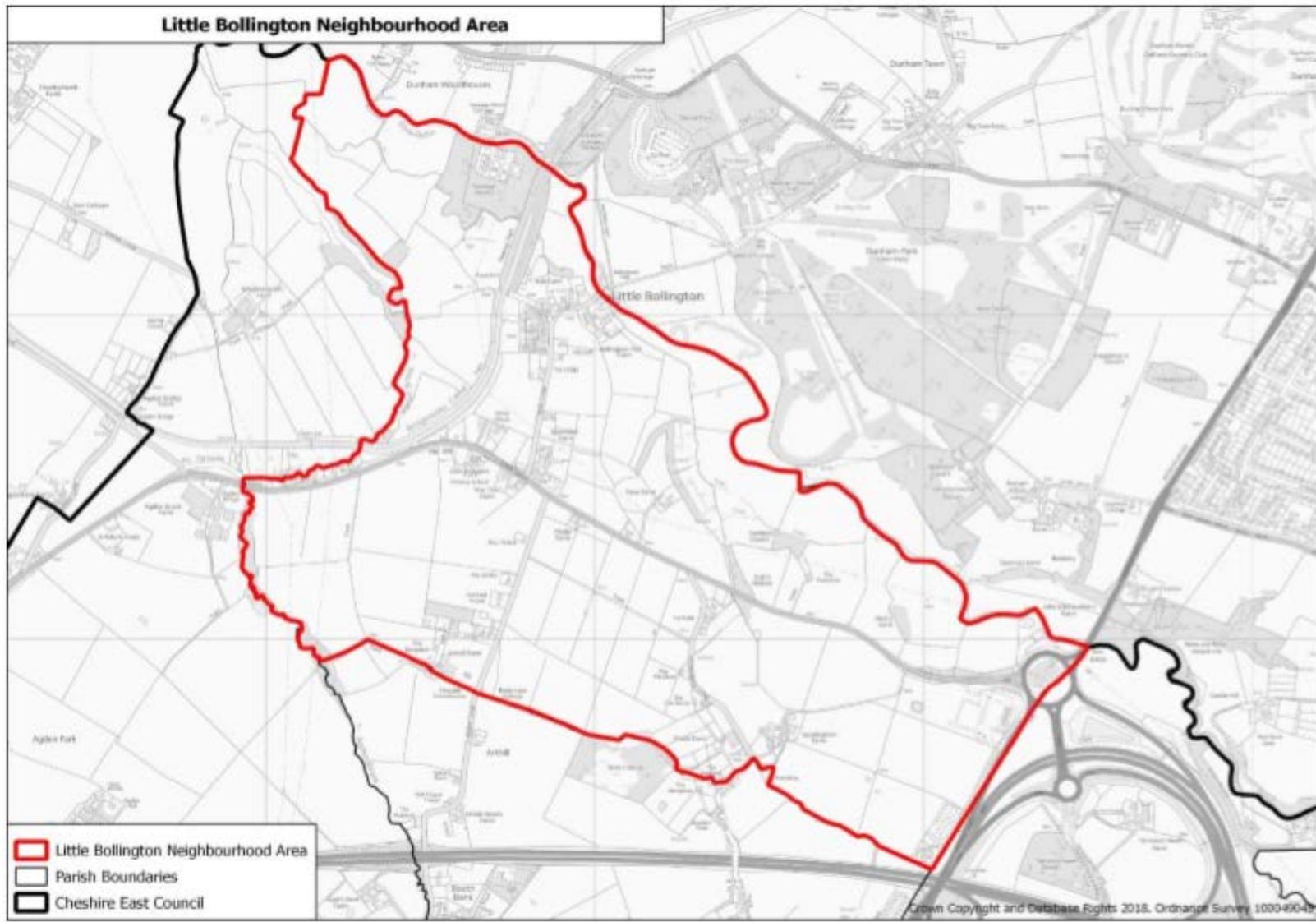
1.5 A Neighbourhood Plan must be compatible with national policies and with the policies in the authority’s local plan. The Cheshire East Local Plan (which is the Development Plan for Cheshire East) was adopted in 2017 and will guide development up to 2030. This Neighbourhood Plan is to run for the same period as the Local Plan, expiring in 2030. Cheshire East Local Plan Part Two, Site Allocations and Development Policies Document (SADPD), will allocate the remaining sites needed for future development and set out further detailed planning policies to be used when considering planning applications. The draft SADPD has been out for consultation, and examination, and it is anticipated that it will be

adopted in 2022. The Parish lies entirely within the Green Belt, and is designated in the Local Plan as open countryside where, under policy PG6 of the adopted Cheshire East Local Plan Strategy, there is a presumption against new residential development.

1.6 The Little Bollington Neighbourhood Plan provides a vision for the future of the parish and a set of objectives and policies to support this vision from now until 2030. The Neighbourhood Plan area covers the whole of the parish, and was designated by Cheshire East Council on 12th April 2022.



1.7 Figure A – Map of Little Bollington Designated Neighbourhood Area



2. Little Bollington – A Brief Overview

2.1 Little Bollington is a small village in north Cheshire, just outside the southern edge of the Manchester conurbation. The village is located within the Green Belt, and is at the northern tip of the area governed by Cheshire East Council. In place of a parish council, administration takes place via a parish meeting. The parish comprises of one small settlement, the small village of Little Bollington, but is predominantly characterised by a rural landscape of arable and pastoral agriculture.

2.2 The village is in a very attractive rural setting. It lies within the National Trust Estate, which is a large area of farmland centred around Dunham Massey Hall and Park, a nationally significant heritage asset which is a major visitor attraction and one of the National Trust's most visited properties. Although Dunham Massey lies outside of the parish, Little Bollington has strong visual and historic ties with the estate. The estate is also a significant land and property owner within Little Bollington. The Bridgewater Canal runs along the edge of the village and passes over the River Bollin. The River Bollin and its wetlands are classed as an ASCV (an Area of Special County Value). Agden Brook is an attractive feature that also passes through Little Bollington. There are numerous public footpaths and the area is included in several Cheshire walking guidebooks. Little Bollington attracts many tourists due to its proximity to Dunham Massey, its peaceful and picturesque setting, the canal and footpath network, and the welcoming and thriving public houses.

2.3 At the time of the 2011 census, there were 170 residents living in Little Bollington, in 75 households. The main settlement area consists of an estate of 30 former council houses set adjacent to a rural lane with a number of farmhouses and cottages. Other cottages and houses are situated over a fairly wide area on rural lanes and on the single main road which runs through the village. There is a primary school and a parish church, both situated on the main road. The school is well attended, drawing children from a wide catchment area, and the parish church has an active congregation led by a very committed vicar. It attracts a congregation from within the village and areas beyond.

2.4 Little Bollington has an extremely long and rich history. Archaeological excavations discovered a prehistoric burial mound (or barrow) at Fairy Brow in Little Bollington, dating from approximately 1500BC. The cremated remains of a young man were uncovered, along with several grave goods including a bronze dagger and several flint tools. It is likely that Dunham was an Anglo Saxon estate in the kingdom of Mercia, which covered the adjacent manor of Little Bollington. The Roman road, Watling Street, which follows the route of the modern A56 indicates the importance of the area in Roman times, with the road linking the Roman forts at Chester and Manchester. Roman coins and pottery have also been unearthed from the Dunham Massey Estate. There is evidence of a medieval settlement at Little Bollington, and medieval field settlements have been identified in the parish. A castle at Dunham is mentioned in documents from 1173, and a hall had been established at Dunham Massey by the mid fourteenth century, with Little Bollington forming part of the vast estate. The parish is now fortunate to be home to four

Listed Buildings. The White Cottage dates back to the sixteenth century, Bollington Hall Farm house and Stamford Farm house date from the late eighteenth century, and Holly Bank house dates from the early nineteenth century. All are listed at grade II.

2.5 Little Bollington falls within Landscape National Character Area 60 'Mersey Plain' which comprises of expansive flat or gently undulating, lush, pastoral farmland. The 2018 Cheshire East Landscape Character Assessment classifies Little Bollington as lying within the landscape character type of Lower Farms and Woods, and River Valleys categorisations. The lower farms and woods character type with its very gently rolling landscape has many similarities with the Cheshire plain, yet it has a greater concentration of woodland and a slightly higher settlement density with more nucleated hamlets and villages. Land use is a mix of arable and pasture, while settlement largely retains its dispersed pattern. Intensive reorganisation during the post-medieval period saw the dilution of some medieval field patterns. The landscape is very rural, although has been impacted in places by the presence of major transport routes.

2.6 The river valley landscape character type contains the major rivers within the Borough, which in Little Bollington is the Bollin. The water power provided by the rivers to support textile and flour mills increased their importance during the Industrial Revolution. The slopes of the valleys are densely wooded and sparsely settled, creating intimate landscapes. In the present day, they are important natural habitats and form popular destinations for recreation. The Cheshire East 2018 Landscape Character Assessment can be viewed at https://www.cheshireeast.gov.uk/environment/heritage_natural_environment/landscape/landscape_character_assessment.aspx.



3. Consultation

3.1 The Little Bollington Neighbourhood Plan is a community plan and must derive its vision, objectives and policies from the community. Communication and consultation, in various forms, have played a major role in formulating the Neighbourhood Plan.

3.2 Central to the preparation of the Neighbourhood Plan has been publicity to gain residents' engagement. This was gained via meetings, newsletters, postal information, emails, notices on the community notice boards, hand delivered flyers, and electronic media via the Little Bollington website.

3.3 Further information on consultation methods and the results from the consultations can be found in more detail in the Consultation Statement that will accompany the submitted version of the Little Bollington Neighbourhood Plan.

3.4 A questionnaire was delivered to every household in the parish in February 2019. The questionnaire was used as a basis on which to develop the objective, visions and policies. The questionnaire can be viewed in the Consultation Statement. There was a very good response rate of 36%.

3.5 The questionnaire briefly explained the purpose of a Neighbourhood Plan, and responses could be dropped off at the two local pubs, or emailed to the Little Bollington website. The questionnaire asked what residents valued about Little Bollington, with suggestions including access to the open countryside; local green spaces; wildlife, watercourses; proximity to Dunham Massey; history and heritage; open views and vistas; public rights of way; civic facilities, and gave the option of adding further suggestions.

3.6 The questionnaire then asked five yes or no questions, concerning inappropriate developments; the natural environment; built character and design; access to the countryside, and local character.

3.7 The results highlighted that 100% of respondents valued access to the open countryside. 96% of respondents valued local green spaces, watercourses and the proximity of Little Bollington to Dunham Massey House and Estate. 93% of respondents valued Little Bollington's wildlife, history and heritage, and open views and vistas. 89% of respondents valued the network of public footpaths, with 81% valuing the civic facilities. 100% of respondents wanted to protect access to the open countryside, and protect Little Bollington's residential and agricultural character. 96% of respondents thought that Little Bollington was under threat from inappropriate development, with 96% also wanting to protect Little Bollington's built character and design, and 96% wanting to protect the natural environment.

3.8 When asked what else they valued about Little Bollington, there were a number of responses. The community, and community spirit were mentioned, as was the peace and quiet, tranquillity, and escape from the hustle and bustle. Working farms were mentioned, as was the appreciation of the two village pubs. One respondent mentioned that they would like to see some development to help bring people into the village. Another mentioned that Little Bollington had a very mixed built character and design.

3.9 The results of the questionnaire were discussed at the Parish Meeting in April 2019, along with information gathered from a day spent with the Neighbourhood Plan Manager from Cheshire East Council. A flyer summarising progress and the draft vision was circulated to all residents in July. A further consultation and drop-in session was arranged to coincide with September's Parish Meeting, to gather more comments from the community, and give an update on the progress of the Neighbourhood Plan.

3.10 The Little Bollington Neighbourhood Plan will be submitted to the list of statutory and other bodies provided by Cheshire East Council as required under Regulation 14, Town and Country Planning, England Neighbourhood Planning Regulations (General) 2012.



4. Vision and Objectives

4.1 The vision and objectives are based on discussions at the Parish Meeting together with information gained from the questionnaire responses from local people during the initial stages of the consultation process, along with a very useful session held with the Neighbourhood Plan Manager from Cheshire East Council in order to help to determine what policies may be necessary for inclusion in the Neighbourhood Plan.

4.2 The vision for Little Bollington is:-

By 2030 Little Bollington will continue to provide an abundance of high quality countryside, landscape and heritage for its residents and surrounding communities to enjoy. Our civic assets and local facilities will continue to enable the community to build supportive relationships, friendships and underpin an active village life and our natural environment will be supported and thriving.

4.3 Following on from the vision, the following objectives have been identified, and the policies of the Neighbourhood Plan seek to deliver these objectives:

Objectives:-

- To ensure that local heritage is celebrated, actively used and continues to play a key role in the character of the area
- To preserve and enhance valued assets and landscapes that contribute to the quality of place and draw visitors to the area
- To ensure that development is well designed and positively contributes to the local vernacular and character of the area
- To protect and enhance valued wildlife habitats and the natural environment
- To encourage and enable access to the countryside and support the successful operation of the canal network, whilst managing the impact on the local community
- To support and encourage the continued function of community and civic assets
- To support and encourage a thriving local economy

5. Heritage, Landscape Character and Design Policies

5.1 The Little Bollington Neighbourhood Plan has the following objectives:-

- To ensure that local heritage is celebrated, actively used and continues to play a key role in the character of the area
- To preserve and enhance valued assets and landscapes that contribute to the quality of place and draw visitors to the area
- To ensure that development is well designed and positively contributes to the local vernacular and character of the area

Policy HLD1 – Landscape character

Development proposals must not significantly harm, individually or cumulatively, the setting of heritage assets or the characteristic features of the local landscape. The landscape character of Little Bollington and the setting of Dunham Massey must be protected and enhanced.

Proposals must demonstrate consideration of the relevant character areas detailed in the 'Managing the visual setting of Dunham Massey' report 2015 and the 'Design Guidance – Little Bollington' report 2019 (or any updated versions). New development should –

- a) be avoided on steep slopes or in visually prominent locations
- b) protect the wooded character of the area, avoiding the removal of mature trees and hedgerows
- c) retain historic field and plot patterns, avoiding the encroachment of residential gardens into the landscape
- e) retain the character of the narrow rural lanes, avoiding increasing their width or removal of hedgerows
- f) ensure that the traditional rural character of the area is not degraded
- g) retain the sense of enclosure and high levels of tranquillity within the landscape, screening visual and audible intrusive features within the landscape
- h) respect the sparsely settled character of the landscape and the existing built vernacular
- i) reflect the local rural character in both materials and scale
- j) conserve the uninterrupted skyline and wooded backdrop to Dunham Massey
- k) ensure that any conversions of farm buildings retain a rural character, including their surrounds.

5.2 Evidence and Justification

5.3 Although Dunham Massey itself falls outside of the Neighbourhood Plan designated area, Little Bollington lies within the National Trust Estate and the character and landscape of the parish play an essential role in the setting of Dunham Massey. Dunham Massey comprises a Grade I listed House, surrounded by gardens to the north, east and south sides and a larger area of enclosed parkland. It is a Grade II* Registered Park and Garden of Special Historic Interest, itself surrounded by an extensive agricultural estate. The National Trust exerts influence over the wider landscape through a range of restrictive covenants in adjoining settlements. Influence and protection is also provided by the Inalienable Declaration on National Trust land around Dunham Massey. This gives some protection against public infrastructure developments, as an Act of Parliament and a Compulsory Purchase Order are required to undertake development or take over land protected by the Inalienable Declaration. Dunham Massey is therefore a focus within a much larger managed landscape setting, which extends into Little Bollington.

5.4 Such is the importance of the surrounding landscape to the setting and significance of Dunham Massey, that a report was prepared for the National Trust by Land Use Consultants LUC in 2015, entitled 'Managing the visual setting of Dunham Massey' (the report can be viewed at www.littlebollington.org). The report highlights that the surrounding rural agricultural character is important to an understanding of Dunham Massey as it provides a strong contrast with the developed suburbs of Manchester and is a symbol of the once vast landholding associated with the nobility of Dunham Massey. The location of the formal Old Park on level ground overlooking the Bollin Valley is part of the key to understanding the place, with the controlled formal landscape juxtaposed with the pastoral valley landscape and working Estate landscape. The designed landscape has views out to the rural agricultural landscape beyond and notably to the sinuous pastoral valley of the River Bollin to the south and west – which includes much of the parish of Little Bollington.

5.5 A series of character areas were defined which are considered essential to the setting of Dunham Massey – see figure B. Little Bollington Parish falls within four of these character areas - the Bollin Valley; Bollin wooded slopes; Bollin north; and Woolstencroft estate. Recommendations on how the surroundings can be managed to conserve and enhance the significance of Dunham Massey were made, along with mitigation and enhancement opportunities in relation to any future change in the setting. The report highlighted how the character areas are essential to the setting of Dunham Massey. For example, the registered park and gardens were intentionally designed to draw on and contrast with the pastoral qualities of the Bollin Valley, whilst the wooded slopes character area frames views through the avenues, and still today the rural character reflects the landscape seen in paintings from the eighteenth century. The Bollin north character area retains much of the historic landscape character greatly influenced by the river Bollin and is an important setting to the visitor arrival route to Dunham Massey. The Woolstencroft estate character area retains much of its historic landscape character. The report has helped to inform policies within the

Neighbourhood Plan, and should be considered in all development proposals. The recommendations for each of the character areas which relate to Little Bollington are shown in appendix 1.

5.6 The report highlighted that the rural estate setting should be conserved and enhanced. The wooded skyline which surrounds Dunham Massey is of great importance to its setting, providing a backdrop to both framed and glimpsed views from the Old Park. It is recommended that the uninterrupted skyline should be preserved and development in the character areas should not breach or overtop the wooded backdrop.

5.7 In order to further support and inform the Neighbourhood Plan, in 2019 the Parish Meeting commissioned Urban Imprint to prepare a Design Guide for Little Bollington, which can be viewed at www.littlebollington.org. The study was designed to identify the key characteristics of the landscape and built form of Little Bollington to help shape the quality and design of new developments and ensure that they do not have a negative impact on landscape character. The report highlighted that Little Bollington has three broad character areas – the village itself, the A56 arterial route, and the southern farmsteads area – see Figure C.

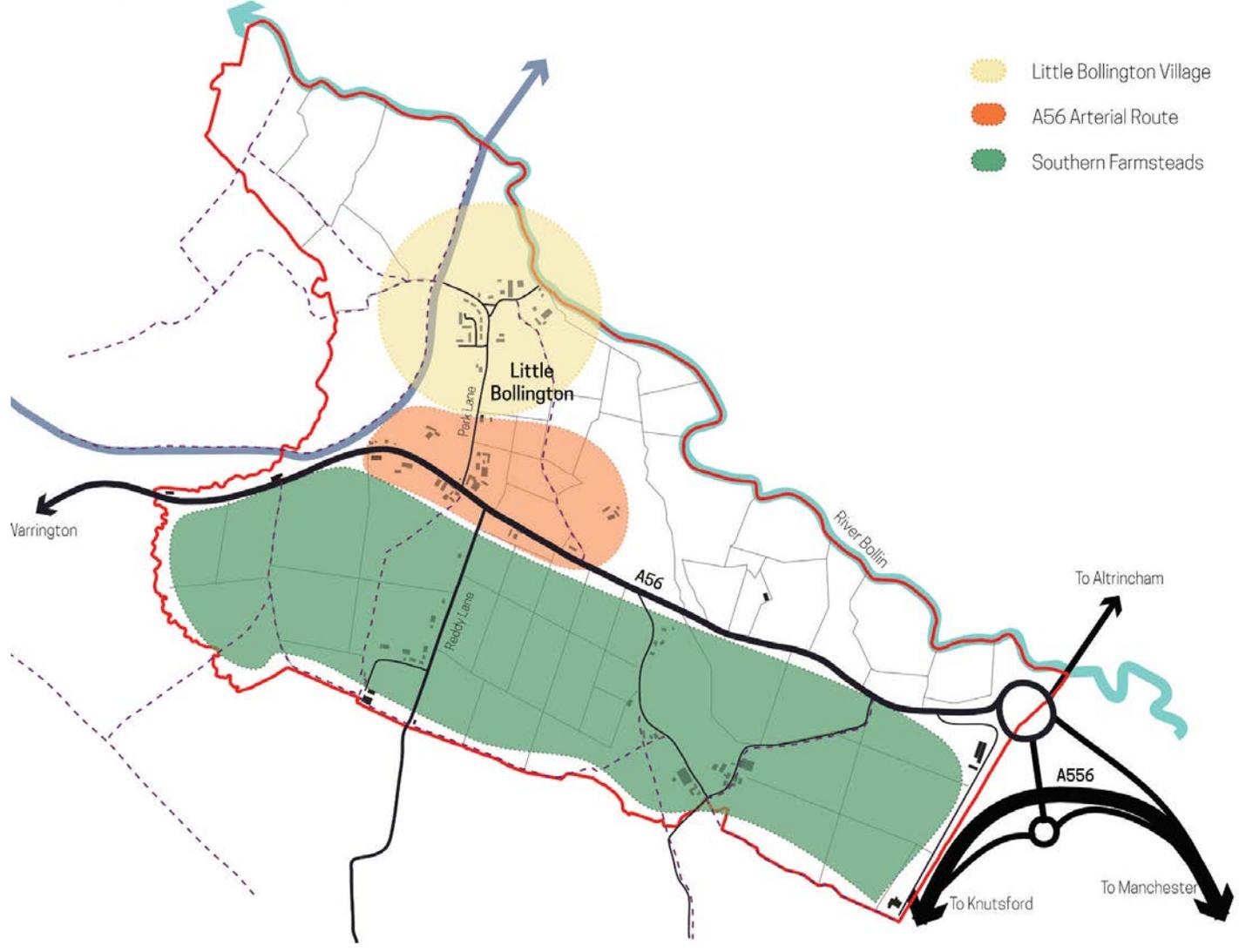
5.8 The Little Bollington Village Character Area covers the 'traditional settlement', which is nestled between the banks of the River Bollin and the Bridgewater Canal and is largely residential in nature. This area has strong connections to Dunham Massey and includes two of the four listed buildings within the parish. It also includes a large 'finger' of pastureland to the north-west. The A56 Arterial Route Character Area comprises the buildings along Lymm Road (A56). The spinal route runs east-west connecting Bowdon roundabout with Lymm. There is a mix of residential and civic buildings including Little Bollington Primary School and the Church and a number of former coaching inns that are remnants of the route's original turnpike history. As a result, a number of the larger more modern farmsteads are also in this area. The Southern Farmsteads Character Area is a much larger expanse of flat arable and pastoral farmland that runs south of the A56, broken only by copses and clusters of residential properties. These are predominantly centred on farms. This area has a rectilinear field and road pattern which suggests it is the subject of later enclosure. An area closest to the A56 has been the subject of some disruption as a result of the dualling of the route and junction improvements.

5.9 It is important that any development within Little Bollington carefully considers its relationship with the wider landscape, and that the guidance within the Design Guide – Little Bollington for each character area is followed, in order to ensure that contextually responsive design is achieved.

5.10 Figure B – Dunham Massey Setting - Character Areas (Character areas 1,3,9 and 10 relate to Little Bollington).



5.11 Figure C – Little Bollington Character Areas



Policy HLD 2 – Views and Setting

New development should -

- a) conserve views to key features which are essential to the setting of Dunham Massey
- b) be in harmony with localised landform, avoiding building up (terracing) sites which would mean that buildings would ‘sit up’ in the landscape
- c) maintain a series of glimpsed views into and out of the settlement areas, offering a clear visual connection with the landscape
- d) avoid views from key public vantages or within key view corridors which are direct onto or face towards complete single elevations or taller buildings
- e) include soft, planted boundary treatments and not include hard boundaries such as walls or close boarded fences

5.12 The ‘Managing the visual setting of Dunham Massey’ www.littlebollington.org report highlighted a series of important viewpoints which represent either the historic designed views or vistas out, incidental views such as along the perimeter walks, or those places where there are particularly strong connections with the wider landscape. A number of these viewpoints (numbers 1,2,3,4,7 and 9) relate to Little Bollington. They are shown on Figure D and detailed further in appendix 2. Development proposals must demonstrate how their impact on these viewpoints has been considered, and proposals should ensure that any development is sensitively designed to reflect the rural landscape area. Development within these areas is almost certainly going to have an impact on the heritage asset of the registered parkland and listed Dunham Massey complex and thus development within these views would necessarily have to demonstrate compliance with wider policies at the national and local level. It is unlikely that non-traditional building would be acceptable within these views.

5.13 The Design Guide – Little Bollington 2019 www.littlebollington.org highlighted key views within the parish – see Figure E. The report stressed that in the Little Bollington character area, from many vantages the scale and nature of the development form is almost blocked from view by vegetation. It is considered important that this is maintained when new development is planned by ensuring that new and existing planting and landform is used to break up direct and full views of development, and to ensure that the interface between the built form and wider landscape is well managed, with developments assimilating into the landscape.

5.14 There are a number of key views from public vantage points that can be described as key views. The most important of these is the panoramic view from the canal embankment looking south and east across the southern edge of the parish. Ensuring that development in this area is sensitively designed in line with the local character and scale will be particularly important as large and alien features will be highly visible.

5.15 More widely there are a number of views east and west out of the village from key points along Park Lane and Reddy Lane where the topography and the landscape features offer views across the fields from the settlement. Important examples of this are a view of the wider landscape to the east as you pass under the tight canal aqueduct, a view across the River Bollin at the bridge to the rear entrance to Dunham Massey and a view along the river valley. These views, along with others, are detailed on Figure E.

5.16 In these cases, not only should new development within these views be carefully managed and be well designed to have limited visual impact, but the streets and spaces from which these views orientate should be carefully conserved to preserve the relationship of the village to the landscape setting.

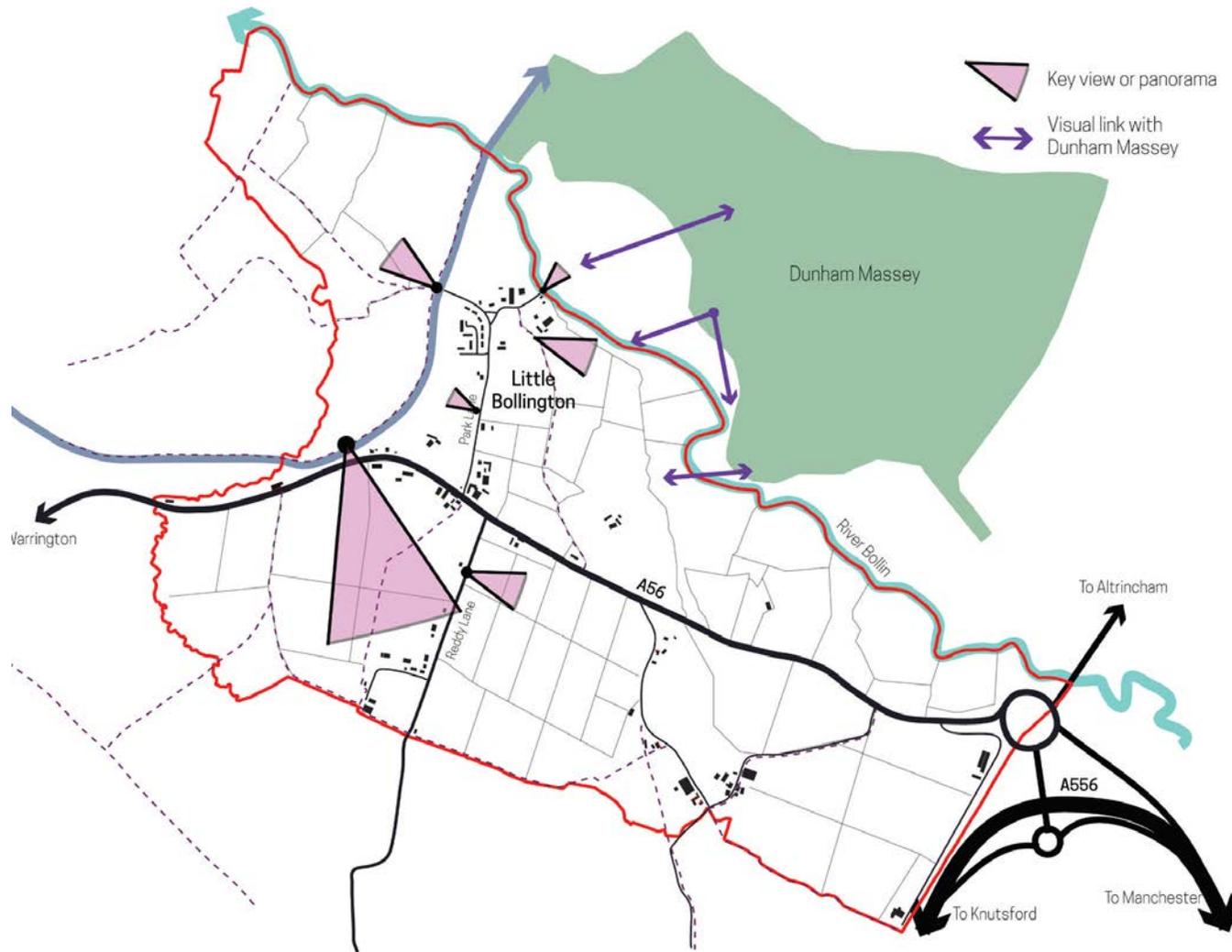
5.17 93% of respondents to the Neighbourhood Plan questionnaire stated that they valued the open views and vistas of Little Bollington.



5.18 Figure D – Dunham Massey Setting – Viewpoints 1,2,3,4,7, and 9 relate to Little Bollington



5.19 Figure E – Little Bollington Key Views and Visual Links



Policy HLD3 – Design

In order to reflect the pattern of development within the parish, and reinforce local character, development proposals should demonstrate consideration of the Design Guide – Little Bollington 2019 (or any updated version). Development proposals should consider the character area to which the scheme relates along with the local archetypes, with character, form and scale following the pattern of original and nearby buildings. Proposals should –

HLD3 A - Scale Mass and Siting

- i) not exceed 2 storeys in height
- ii) reflect the traditional character of the area and local archetype in terms of the scale and mass of development, avoiding buildings of large mass
- iii) be sited so as to present wide elevations to the road (as a principle elevation) behind a front garden area, where this reflects the local archetype
- iv) ensure that where possible the majority of the plot remains free from built form, contributing to the green setting and allowing for appropriate landscape and planting
- v) maintain the openness of the Green Belt

HLD3 B - Parking and Servicing

- i) avoid the frontage of buildings being dominated by car parking or other hard standing
- ii) ensure that new hard surfaces are integrated into the landscape design of the development and are of neutral colours and permeable in nature
- iii) ensure that there are appropriate spaces for the storage and sorting of refuse, so that bins and their store are not visually intrusive in the street scene or landscape
- iv) carefully integrate parking into designs so that it does not dominate the street scene or frontage and provides sufficient off-street spaces in accordance with Cheshire East Council Parking Standards

HLD3 C – Design Detailing Guidance

- i) have a simple roofscape, avoiding hipped and stepped roofs, but making use of gables where this allows the use of the roof space. Whilst flat roofs and mono pitches will be discouraged, designs will be considered on their merit, and all roof alterations or roofs on new developments must be delivered in a sensitive manner in relation to the local archetype and character area
- ii) include chimneys and fenestration in a way that stresses verticality and is sympathetic to the principal elevations
- iii) only use simple detailing, often using brick, including details under the eaves, as part of window surrounds
- iv) include brick detailing either in the form of traditional bonds (English or Flemish bonding) or through the inclusion of decorative string courses
- v) include measures to lessen potential impacts on wildlife, such as the installation of bat/otter sensitive lighting, the installation of durable bat and bird boxes and hedgehog friendly fencing, and ensuring surface water is directed away from sensitive areas
- vi) incorporate SUDS which minimises surface water run-off. These may include features such as ponds, swales and permeable paving designed as part of the development and to reflect the rural character of the area. Every option should be investigated before discharging surface water into a public sewerage network, in line with the surface water hierarchy

HLD3 D – Materials

- i) have a simple materials palette which in most cases will be led by red Cheshire brick, with simple brick, stone and wooden detailing
- ii) only use render sparingly as a detail, unless on smaller cottages, and should be in a white, cream or off-white colour only
- iii) be roofed in either slate or deep red clay tile, or a visually similar modern material avoiding ridged concrete tiles
- iv) ensure that, for conversions or changes of use, any important characteristics and features of the original buildings are retained, that the urbanisation of the development is kept to a minimum, and that development is kept to the footprint of the original buildings as far as possible
- v) seek to be carbon neutral, where possible using environmentally sustainable technology and materials and incorporating renewable energy measures.

Materials should reflect the local archetype, and exceptions may be acceptable in areas of post war development where more modern architectural styles and design are dominant. Where a more contemporary or contrasting design approach is promoted, a high standard of design, materials and detailing must be demonstrated, and the proposal should reflect the existing scale, form and patterns within the street scene.

5.20 Evidence and Justification

5.21 The Urban Imprint Design Guide – Little Bollington 2019 www.littlebollington.org.uk was commissioned by the Parish Meeting in order to help inform neighbourhood plan policies, and ensure that new development was well designed, sympathetic to the existing built form and able to enhance the existing character of the parish. The comprehensive report considered the role of the landscape, the setting of the settlement, and the design features and materials of local buildings. The report adds local detail, but sits alongside the guidance contained within the Cheshire East Design Guide (2017) which was prepared to guide and improve the quality of new development but to also provide a basis for Cheshire East to reject design that does not contribute in a positive way to Cheshire East as a place. The guide highlights that Cheshire East is a fantastic part of the country, where picturesque market towns nestle within unspoilt countryside. It is a very special and unique place that should be protected. Its character and attractiveness underpin the quality of life enjoyed by the Borough and its residents. https://www.cheshireeast.gov.uk/planning/spatial_planning/cheshire_east_local_plan/supplementary_plan_documents/design-guide-supplementary-planning-document.aspx

5.22 The Design Guide – Little Bollington highlights that the parish comprises only limited urban form, with the majority of buildings located within the traditionally linear village of Little Bollington, or along Lymm Road (A56). To the south the development is mainly farmsteads. The townscape analysis (Figure F) clearly shows how two ‘village zones’ are created – the traditional village which is situated to the north of the parish, where the Swan with Two Nicks pub now stands, and the civic zone around the junctions of the A56 Lymm Road (the Turnpike) with Reddy Lane and Park Lane. These two zones reflect the two dominant character areas as well as being the focus for many of the key buildings (listed and also locally important) which collectively give the parish its character. Beyond this settlement form the character is more agricultural in character based around farming rather than any other uses. The remainder of the parish (the southern farmsteads) is accessed from either Reddy Lane / Arthill Lane or Spodegreen Lane. The settlement form is based around larger farmsteads and associated outbuildings and smaller cottages. In recent years, redevelopment of farmstead sites, modern agricultural buildings, conversions and limited infill development have introduced a range of urban forms and functions.

5.23 The report details that there are six local archetypes – small cottage; symmetrical property; agricultural barn; large property; estate cottage; and municipal dwelling. The buildings within the parish, in the main, exhibit a simple and clean design, with red brick being dominant, with contrasting brick often used for decorative effect. Slate is the common roofing material, with stone most commonly found on boundary walls rather than building exteriors.

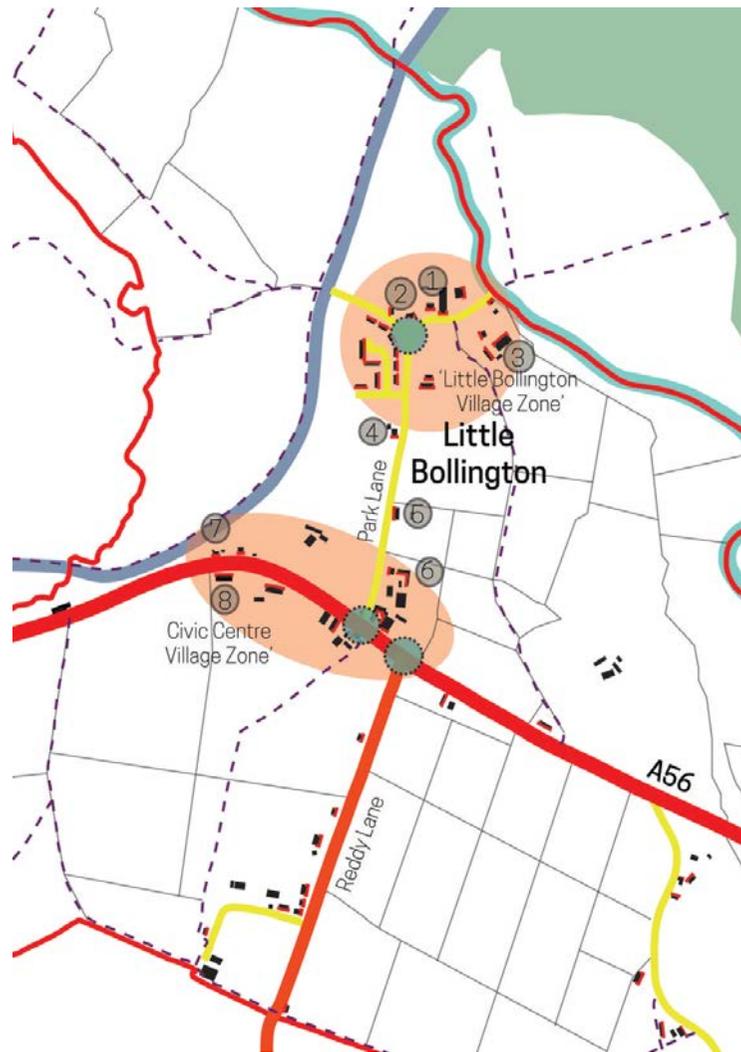
5.24 The Design Guide – Little Bollington provides comprehensive guidance on design criteria for the character areas within the parish, covering landscape character, scale, mass siting, views, setting, materials and detailing. Development proposals must demonstrate how they have considered the guidance and addressed the design criteria. The report supports the design and character policies of the Neighbourhood Plan, and should be used to help shape the quality and design of new developments coming forward in the parish. The design and character of the area are of great importance to the local community, with 96% of respondents to the Neighbourhood Plan questionnaire wanting to protect Little Bollington’s built character and design, and the policy seeks to ensure that any new development positively contributes to the character of Little Bollington.

5.25 Surface water should be discharged in the following order of priority:

- An adequate soakaway or some other form of infiltration system.
- An attenuated discharge to surface water body.
- An attenuated discharge to public surface water sewer, highway drain or another drainage system.
- An attenuated discharge to public combined sewer.

No surface water will be expected to discharge to the public sewerage system. Applicants wishing to discharge to public sewer will need to submit clear evidence demonstrating why alternative options are not available as part of the determination of their application.

5.26 Figure F – Townscape Analysis Plan



- | | | | |
|--|-----------------------------------|--|--|
| | Primary route | | Swan with Two Nicks |
| | Secondary route | | The White Cottage: Grade I Listed |
| | Tertiary route | | Bollington Hall Farm House Grade II Listed |
| | Footpath | | Ivy Lodge: |
| | Building (Red indicates frontage) | | Post Office |
| | Node or key junction | | Stamford Farm House: Grade II listed |
| | Building | | Holly Bank: Grade II Listed |
| | Field division | | Holy Trinity Church |
| | Village 'zone' | | |
| | Dunham Massey | | |

HLD4 – Heritage

Planning applications will be required to demonstrate how development proposals impact on heritage assets and their setting, including how they respond positively to them including promoting opportunities for enhancement. New buildings ancillary to heritage assets should not harm the significance of the asset itself, its setting, or the wider character of the area.

Proposals which conserve and enhance historic assets and their setting will be supported, particularly if the proposals would help retain the assets in active use. Proposals for development must take into account the scale of any possible harm or loss and to the significance of any heritage assets. Measures should be put in place to avoid or minimise impact or mitigate damage.

Enabling development will only be permitted where:

1. It would secure the future conservation of a heritage asset, the benefits of which would outweigh the disbenefits arising from any conflict between the enabling development and local and national planning policy;
2. The enabling development is the minimum necessary to secure the future conservation of the heritage asset and it is designed in a way that minimises its disbenefits;
3. The integrity and sustainability of the heritage asset is not materially compromised; and
4. It represents the only possible solution, following a full evaluation of all potential options including those that could result in fewer disbenefits.

The historic integrity of the landscape and component heritage features and assets should be preserved, and the interpretation of these features will be promoted and supported where this would not be at odds with the conservation of these assets.

HLD5 – Locally Listed Heritage Assets

The following buildings are established as Locally Listed Heritage Assets

1. The Old Post Office (and associated outbuildings), Park Lane
2. The Swan with Two Nicks, Park Lane
3. Ivy Lodge, Park Lane
4. Former Stamford Arms Public House, Lymm Road
5. Brookside Cottage, Lymm Road
6. Holy Trinity Church, Lymm Road
7. New Farm Cottages, Lymm Road
8. New Farm and Outbuildings, Lymm Road
9. Hillcroft (and associated outbuildings), Park Lane
10. Barns at the rear of Stamford Farmhouse, Park Lane

5.27 Evidence and Justification

5.28 Little Bollington is fortunate to have a long and rich history. Along with its proximity to Dunham Massey and the vital role in which the landscape of the parish plays in the setting of the hall and gardens, Little Bollington is home to four Listed Buildings and historic landscape features, including the Bridgewater Canal.

5.29 The oldest Listed Building is The White Cottage, which dates from the sixteenth century. The house is basically timber-framed with four crucks, some of which has been encased in brick and in sandstone. The roof is partly in slate and partly in asbestos, but was formerly thatched. The house is in two storeys and has a two-bay front, with two large timber-framed dormers. Bollington Hall Farm House dates from 1770 and is built from brick on a rendered plinth, and has a slate roof. It is in two storeys and has a symmetrical three-bay front. The central bay projects slightly and has a recessed porch with a triple keystone. The windows are casements with voussoirs and keystones. Stamford Farm House dates from the late eighteenth century and is a brick house with stone dressings and a slate roof. It is in two storeys with an attic, and has a symmetrical

three-bay entrance front. The central bay projects slightly forward under a pediment. The doorway has a triple keystone and a gabled wooden canopy. Holly Bank, from the early nineteenth century, is a brick house with stone dressings and a slate roof. It is in two storeys with an attic, and has a symmetrical three-bay front. There is a central porch supported by Doric columns; it has an entablature and stands in front of a round-headed doorway. The windows are sashes. The listed buildings of the Parishes are shown on Figure G.



White Cottage – Grade II Listed



Bollington Hall Farmhouse – Grade II Listed



Stamford Farmhouse – Grade II Listed



Holly Bank – Grade II Listed

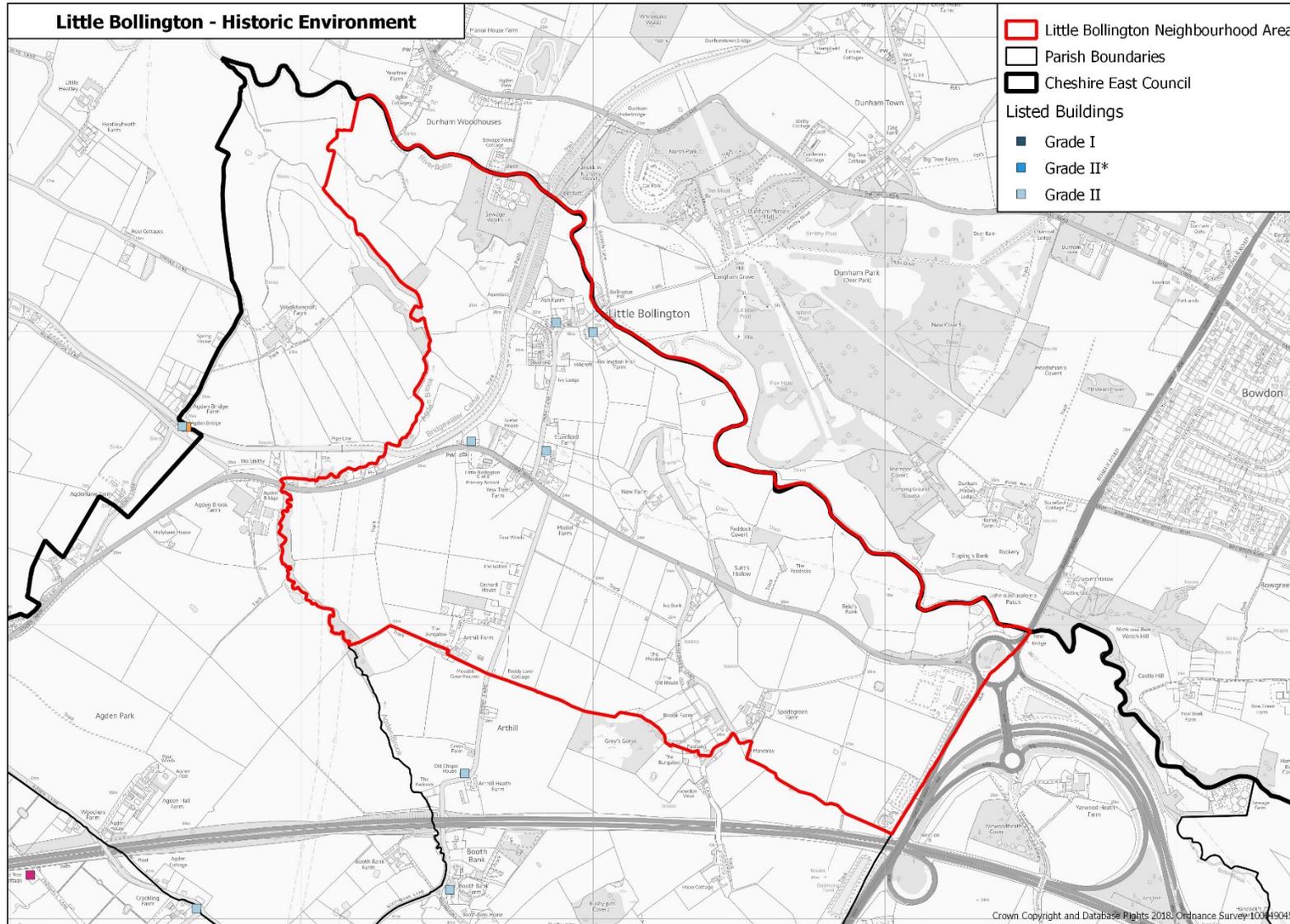
5.30 The Neighbourhood Plan group commissioned Urban Imprint to prepare a report into the heritage assets of Little Bollington. The report 'Heritage assessment of listed assets and local list candidates' (2019) can be viewed at www.littlebollington.org Following a review of the listed heritage assets it was discovered that there were a number of buildings and structures that, whilst of some historical merit, did not benefit from statutory designation. A 'local list' has therefore been prepared for inclusion in the Neighbourhood Plan. The locally listed assets and their assessment against the five selection criteria of architectural or historical character; historical associations; local distinctiveness; group value; and townscape value are described in more detail in Appendix 3, and highlighted on Figure H.

5.31 A locally listed asset is a building structure or feature, which whilst not listed by the Secretary of State for its national importance, is considered to be of local importance due to its architectural, historical or environmental significance. Historic England Advice note 7 (Local Heritage Listing) defines a local list as 'Non-designated heritage assets are buildings, monuments, sites, places, areas and landscapes identified by local planning authorities as having a degree of significance meriting consideration in planning decisions but which are not formally designated'. Historic England define the process of local listing as a 'means for a community and a local planning authority to identify heritage assets that are valued as distinctive elements of the local historic environment.' The National Planning Policy Framework definition of a heritage asset includes specific reference to 'local listing'.

5.32 The purpose of the local list is to ensure that care is taken over decisions affecting the future of these buildings, and that their special status is taken fully into account. Alterations should respect the particular character and interest of the building, and any works carried out should use appropriate materials and retain any features of architectural or historic interest. In line with the NPPF there is little difference between a locally listed asset or a nationally listed designation. Although it is not necessary to apply for Listed Building Consent for works to a locally listed building, planning decisions should consider the impact of proposed development on all heritage assets whether designated or not. The importance of protecting these assets is to ensure that their special interest is considered in planning decisions. The intention of the local list is not to simply preclude development around the buildings, 'preserving them in aspic', but rather to ensure that their importance is recognised in shaping any development that may come forward over the plan period.

5.33 The heritage assets of Little Bollington, and its landscape character and setting are greatly valued by the community. 96% of respondents to the Neighbourhood Plan questionnaire valued Little Bollington's proximity to Dunham Massey, and 93% valued the parish's history and heritage. The heritage assets are, in many ways, what defines the parish and contribute to making it special to the community and visitors, adding to its 'sense of place'. It is important that the heritage assets are preserved and continue to play a key role in the character of the area. Opportunities to celebrate local heritage assets and historic landscape feature, or to promote their interpretation in a sensitive manner, will be supported.

5.34 Figure G – Little Bollington Historic Environment



6. Natural Environment Policies

6.1 The Little Bollington Neighbourhood Plan has the following objective:-

- To protect and enhance valued wildlife habitats and the natural environment

Policy NE1 – Wildlife Habitats, Wildlife Corridors and Biodiversity

Development which will have unacceptable impacts on the areas of high value habitat distinctiveness and wildlife corridors identified in Figures I and J will not be supported. In exceptional circumstances, where the reasons for proposed development clearly outweigh the value of the ecological feature adversely affected and there are no appropriate alternatives, suitable mitigation and/ or compensation must be provided to address the adverse impacts of the proposed development.

Development proposals should be supported by habitat assessments where areas of High or Medium value are potentially affected.

The enhancement of the areas of high distinctiveness and wildlife corridors identified in Figures I and J will be supported. Where possible new developments must not create divisions between existing wildlife corridors (Figure J) and where possible should contribute to the creation of new or improved links.

Development proposals where the primary objective is to conserve or enhance biodiversity shall be supported.

New developments should demonstrate a net gain in biodiversity using appropriate evaluation methodologies and avoidance/mitigation strategies. Compensatory measures (for example biodiversity offsetting) will be required if a net loss of biodiversity is likely.

6.2 Evidence and Justification

6.3 The conservation and enhancement of the natural environment is one of the core objectives of the planning system. The residents of Little Bollington are keen to protect wildlife and nature conservation interests, with 93% of respondents to the Neighbourhood Plan questionnaire valuing local wildlife, and 96% wanting to protect Little Bollington's natural environment. One of the key ways to achieve this is to ensure that new developments are appropriately located and do not cause a net loss of biodiversity. Knowing the importance of the countryside to local residents, the Neighbourhood Plan steering group commissioned Cheshire Wildlife Trust to inform and produce appropriate evidence for policies for the Neighbourhood Plan. The CWT Report 'Protecting and Enhancing Little Bollington's Natural Environment' was published in November 2019 and can be viewed at www.littlebollington.org

6.4 The CWT Report identified the core, high ecological value sites (high distinctiveness) for nature conservation in the parish, which are recommended for protection, and medium value sites (semi natural habitat) which should be considered as biodiversity opportunity areas and which should be subject to a full evaluation should they be proposed for future development. Wildlife corridors are a key component of wider ecological networks as they provide connectivity between core areas of high wildlife value/distinctiveness enabling species to move between them to feed, disperse, migrate or reproduce. The Cheshire Wildlife Trust study has identified a wildlife corridor network (shown on Figure J) with ecological connectivity within and beyond the Little Bollington Neighbourhood Planning area.

6.5 The study identified areas of high value (distinctiveness) habitat in the Little Bollington Neighbourhood Plan area, at Woolstencroft Farm Meadow Local Wildlife Site, and Fields Behind 'Ye Olde No.3' Local Wildlife Site. These are species-rich grasslands shown on Figure I. There are also two traditional orchards mapped as 'high habitat distinctiveness' one between Orchard House and Arthill Farm, and the second in the grounds of Stamford Farm. Additionally, a small section of Grey's Gorse Local Wildlife Site, a large broadleaved woodland site, lies within the Parish.

6.6 Undesignated areas of "medium habitat distinctiveness" were also identified (Figure I) as they provide important wildlife habitats in their own right as well as acting as ecological stepping stones. The majority are semi-natural woodlands, semi-natural grasslands and field ponds which are distributed across the whole of the Parish. They provide a valuable habitat for wildlife such as great crested newts, invertebrates, birds such as the red listed lapwing, red listed yellow hammer, the linnet, along with mammals such as hedgehogs and brown hares.

6.7 The report also identified areas that act as a wildlife corridor network (Figure J) with high ecological connectivity between woodland, grassland and riparian habitats within and beyond the Little Bollington Neighbourhood Plan Area. The wildlife corridor network is likely to

support a wide range of species including numerous birds, mammals, bats, plant and invertebrates that are in decline both locally and nationally. The identified corridors follow hedgerows and watercourses within the Parish such as the Bridgewater Canal, River Bollin and Agden Brook, with good connectivity. Ways to enhance connections could include the restoration of hedgerows, creation of low maintenance field margins and sowing locally sourced (local genetic stock) wildflower meadows.

6.8 Any future development of sites which lie adjacent to high distinctiveness habitat or a wildlife corridor should be able to demonstrate substantial mitigation and avoidance measures to lessen any potential impacts on wildlife. This should include measures such as installing bat/otter sensitive lighting schemes, installing durable bat/bird boxes and hedgehog-friendly fencing and ensuring surface water is directed away from sensitive areas and into SUDS schemes.

6.9 The response to the Neighbourhood Plan questionnaire highlighted that wildlife was very much valued by the local community, with 96% of respondents indicating that Little Bollington should protect its natural environment, trees and hedgerows. One of the key ways to achieve this is to ensure that new developments are appropriately located and do not cause a net loss of biodiversity. Protecting and enhancing biodiversity is central to the National Planning Policy Framework and sustainable development.

6.10 Specific recommendations to achieve the policy for Little Bollington can be seen in more detail in the Cheshire Wildlife study – Protecting and Enhancing Little Bollington’s Natural Environment (2019) – which can be viewed at www.littlebollington.org



Policy NE2 – Trees and Hedgerows

Where possible, the wooded character of the area should be maintained, and historic field patterns and the hedgerow network preserved. The uninterrupted wooded backdrop to Dunham Massey should be preserved.

Native tree and hedgerow planting along the A56 and A556 will be supported, in order to provide a robust screen and reduce the impact of major infrastructure and development, whilst retaining the pastoral setting.

Any development that would result in the loss of, or the deterioration in the quality of an important natural feature, including trees and hedgerows will not normally be permitted. In exceptional circumstances where the benefit of development is considered to outweigh the benefit of preserving natural features, developments may be permitted subject to adequate compensatory provision being made. The retention of trees, hedgerows and other natural features in situ will always be preferable. Where the loss of such features is unavoidable, replacement provision must be of an equivalent or a greater amount to that which is lost. Appropriate landscaping schemes to show how the rural feel to the area will be maintained or any negative impacts will be mitigated against will be required.

6.11 Evidence and Justification

6.12 The 2018 Cheshire East Landscape Character Assessment classifies Little Bollington as lying within the landscape character type of Lower Farms and Woods, and River Valleys categorisations. One of the key characteristics of these character types include a great concentration of woodland, with mature trees within the field pattern and mature hedgerows contributing to the character of the area. An issue affecting these landscape character types is the decline in traditional woodland management practices leading to a general deterioration of farm woodlands, coverts and copses. Many hedgerow trees over mature and are in decline.

6.13 There are, however, a high number of trees and hedgerows apparent in the parish, which are a valued local characteristic, adding much to the rural feel of the parish, and which should be protected and enhanced. In the Neighbourhood Plan questionnaire, 96% of respondents wanted Little Bollington to protect its natural environment, trees and hedgerows. The Cheshire Wildlife Trust report “Protecting and Enhancing Little Bollington’s Natural Environment” which was published in November 2019 and can be found at www.littlebollington.org highlights that

hedgerows are included in the wildlife corridor network (see Policy NE1) where they provide connections between key habitats and wildlife corridors. Scattered farmland trees together with the hedgerow network are fundamental to landscape permeability, particularly those with adjacent wide field margins or lying adjacent to semi-natural grassland. Hedgerows provide important corridors for foraging bats, small mammals and amphibians, as well as many invertebrate species. They offer valuable nesting habitat for birds. Mammals such as the brown hare graze on vegetation and the bark of young trees and bushes, favouring grassland and woodland edge within a mosaic of arable fields and hedgerows.

6.14 The network of field boundary hedgerows and farm drainage ditches within Little Bollington provides habitat connectivity between high distinctiveness areas, which would otherwise be separated by extensive areas of land predominantly of low habitat distinctiveness with restricted potential for wildlife to disperse. Collectively these hedgerows provide linear connectivity through the neighbourhood and beyond. In addition to their intrinsic ecological value a good hedgerow network also adds to the landscape character value.

6.15 Many of Cheshire's woodlands have been lost, with the percentage of woodland covering the county now considered to be around 5% as a result the areas of woodland are highly valuable, and these long established habitats are not easily replaced. There are few semi-natural woodlands in the Parish, making the ones that are present even more important, such as the high value woodland along Agden Brook and the canal in the north and western extent of the Parish. This high valued woodland forms part of Woolstencroft Farm Meadow Local Wildlife Site. The eastern and western boundaries are bound by native hedges with mature ash and oak trees whilst the southern half of the site comprises dense scrub that transitions into semi-natural deciduous woodland, dominated by oak.

6.16 Traditional orchards are a quintessential component of the historic English landscape. Orchards are becoming increasingly rare due to neglect, intensification of agriculture and pressure from land development. These habitats provide excellent conditions for biodiversity to thrive including butterflies, bumblebees, birds, bats, beetles and they can support rare species. They are made up of several different habitats, including elements of woodland, hedgerow and meadow grassland and this mosaic of habitats is why they support a diversity of different animal species. There are two traditional orchards in the west of Little Bollington, one between Orchard House and Arthill Farm and the second in the grounds of Stamford Farm (see figure 1) which are classed as high habitat distinctiveness.

6.17 There are two orchards located in the north of the parish that do not appear on Natural England's Traditional Orchards Inventory and have been mapped as being of medium value distinctiveness. These comprise a recently planted Community Orchard, in a small field opposite to The Swan with Two Nicks Pub and a small orchard located off Park Lane in close proximity to the pedestrian bridge over the River Bollin. By managing new and existing orchards such as these in accordance with traditional management regimes, additional traditional orchards can be established in the parish.

6.18 Deciduous woodlands considered likely to be habitats of principal importance by Natural England are mapped as areas of medium distinctiveness on Figure I. These include two small blocks of woodland (Sutt's Hollow and Paddock Covert) towards the centre of the parish, just north of Lymm Road. A third block of woodland, Reid's Bank, was identified as an area of medium habitat distinctiveness. Reid's Bank lies just north of Lymm Road and to the east of Sutt's Wood. A block of broadleaved deciduous woodland habitat) is located within the centre of Bowdon roundabout in the east of the parish. This does not appear on older maps, however newly established woodlands, although not ancient in origin, are likely to provide a valuable habitat for wildlife, particularly invertebrates and birds. This too is mapped as an area of medium distinctiveness.

6.19 The Cheshire East Landscape Character Assessment Report 2018 stresses the need to retain the sense of enclosure and high levels of tranquillity with the landscape, screening the visual and audible effects of existing and new intrusive features within the landscape where possible/appropriate. The 'Managing the visual setting of Dunham Massey' report, highlights that in order to reduce the impact of major infrastructure native tree and hedge planting along the A56 and A556 should be strengthened.

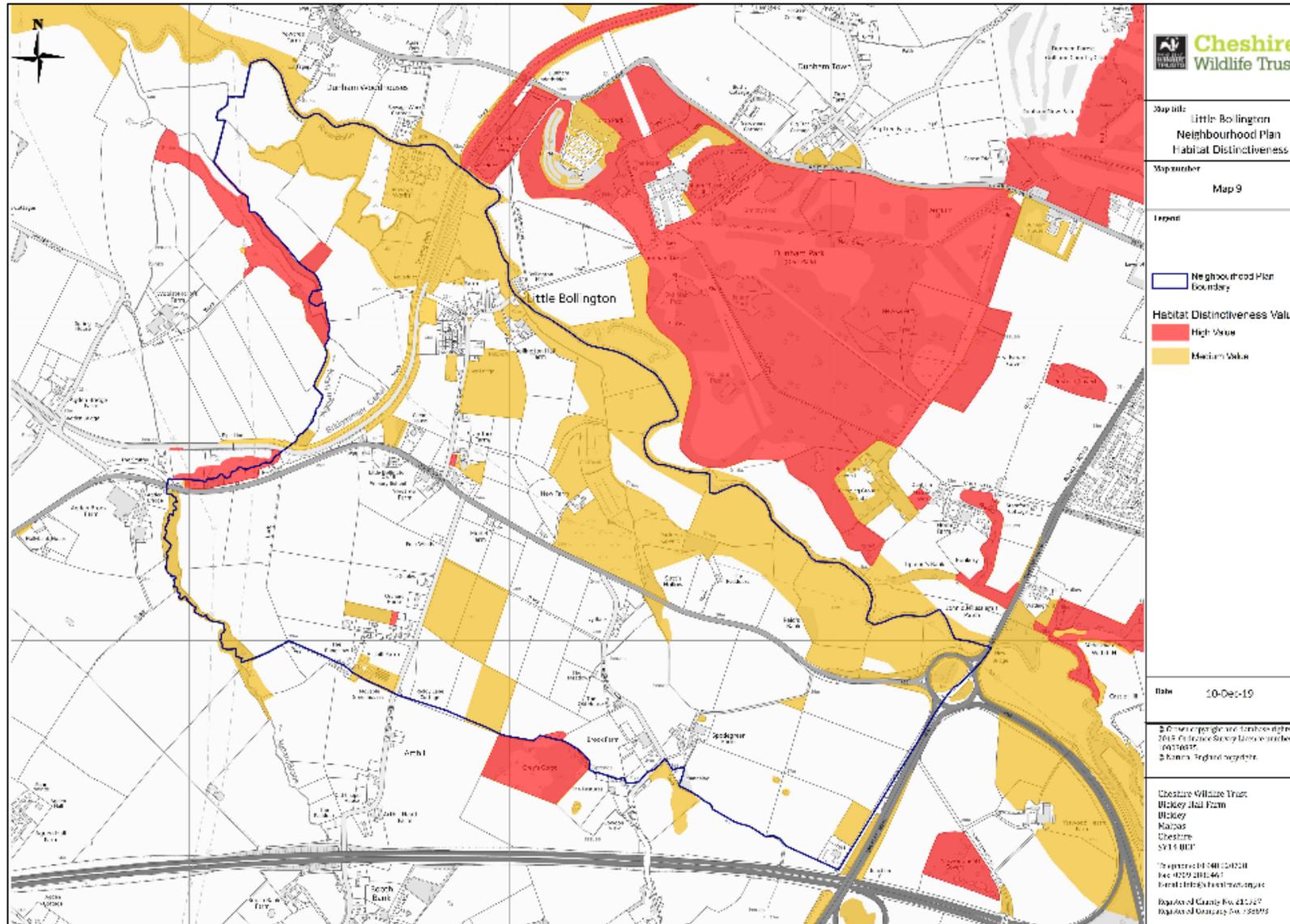
6.20 The benefits of preserving trees and hedgerows in the parish are numerous, for example they: -

- Provide habitats for wildlife
- Provide pleasant scenery for walking and outdoor activities which help reduce stress.
- Produce oxygen and reduce carbon dioxide.
- Are essential to maintain the rural feel to the parish.
- Help reduce traffic noise and dust.
- Help to reduce surface water run off from roadways and buildings.

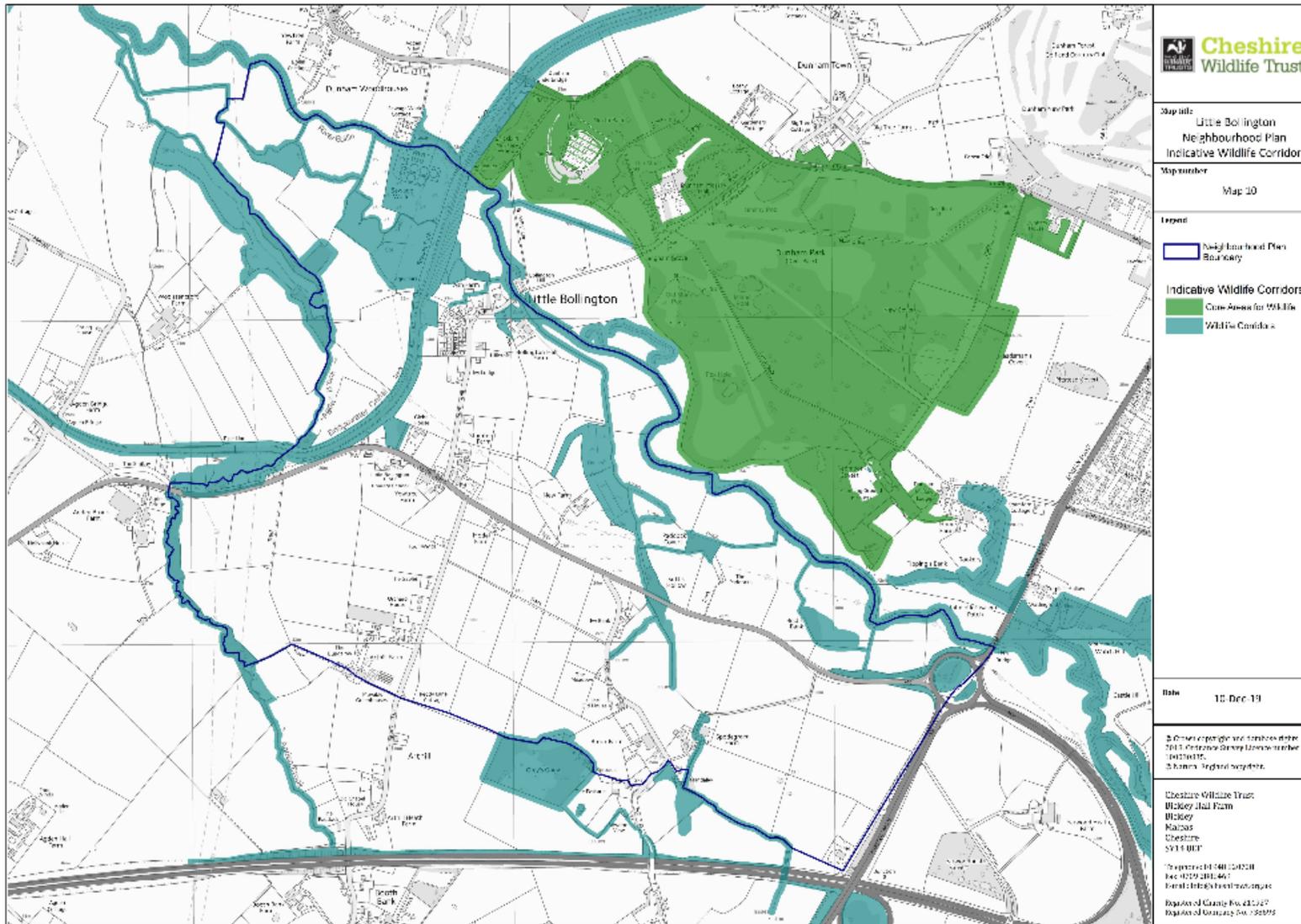
6.21 By protecting valued trees and hedgerows, wildlife corridors and biodiversity, the policies helps to deliver one of the key aims of the National Planning Policy Framework of conserving and enhancing the natural environment, and ensure that the valued wildlife characteristics of the Parish are protected and enhanced.



6.22 Figure I – Map of Habitat Distinctiveness



6.23 Figure J – Indicative Wildlife Corridor Network



7. Access to the Countryside Policies

7.1 The Little Bollington Neighbourhood Plan has the following objective:-

- To encourage and enable access to the countryside and support the successful operation of the canal network, whilst managing the impact on the local community

Policy AC1 – Public Rights of Way and the Canal Towpath

Access to the countryside will be promoted through protection and maintenance of the existing Public Right of Way (PROW) network, and the canal towpath (see Figure K -map of existing PROW), their enhancement where possible, and the safety of users of rural roads and lanes. The construction and appearance of any new tracks, paths or links between existing public rights of way must be appropriate and sensitive to the character of the locality and the surrounding area.

Any development that leads to the loss or degradation of any PROW or the canal towpath will not be permitted in other than very special circumstances, and then only if a suitable alternative can be provided. Proposals to divert PROWs should provide clear and demonstrable benefits for the wider community.

Any new development must provide easy, accessible traffic-free routes for non-motorised users (to include pedestrians, disabled people, people with prams or baby-buggies, cyclists and where appropriate equestrians) to the nearby countryside. The provision of any such additional routes will be supported.

The needs of non-motorised users (as described above) must be taken into account in all traffic planning, but especially in relation to rural lanes and roads. Hazards arising from an increase in vehicle numbers where agricultural buildings are converted to residential or commercial use will need to be taken into consideration. Measures to be taken to ensure this may include, for example, separation of pedestrians/cyclists from vehicular traffic where possible or, improvements to signage.

7.2 Little Bollington is serviced by a number of Public Rights of Way which afford local residents and tourists the opportunity to access the open countryside, and travel sustainably around the parish. Additionally, the Bridgewater Canal towpath affords the community a very pleasant pedestrian route which runs along the edge of the village and passes over the River Bollin. The canal forms part of the Cheshire Ring, a 98 mile route of six historic canals which pass through Cheshire Staffordshire and Greater Manchester. The area is included in several Cheshire walking guidebooks.

7.3 Little Bollington is a popular destination for dog walkers who come for the attractive footpaths and excellent dog friendly pubs. The areas footpaths and rights of way provide ample leisure opportunities in their own right - but also connect adjoining areas to create a more extensive network.

7.4 The most popular walk is the route connecting Dunham Massey Hall to the historic Bridgewater canal. The route passes directly in front of the Swan with Two Nicks public house - a popular dog friendly watering hole. Unusually, the central section of the Bridgewater canal which passes through Little Bollington, has footpaths on both sides. The Southern side provides a pleasant walk and access through to the Old No3 public house - another dog friendly establishment. The Northern / Western bank has the canal towpath and has uninterrupted views over open countryside out towards Oughtrington and beyond to the Pennines. This bank provides opportunities for longer walks with access through to Lymm in the West and Dunham Massey village in the North.

7.5 Another popular route extends from the Bridgewater canal out towards Agden Brook. This walk places you in the middle of open countryside with spectacular views all around. It is a particularly interesting route as the National Trust has set aside several fields of traditional farm land to revert to nature and provide natural habitats for the local flora and fauna. The walk has a full circuit back to the canal - or access across the Bollin River and on towards Dunham Woodhouses.

7.6 There are also many quiet footpaths that enable access across farmland to see parts of the area that would not otherwise be accessible. There is a little used route from the Swan with Two Nicks out to New Farm by the A56. Crossing to the south of the A56 gives access to miles of peaceful footpaths that crisscross the area all the way from Agden to Spodegreen.

7.7 The response to the Neighbourhood Plan questionnaire highlighted that the network of public footpaths and bridleways and the canal towpath are much valued by the local community, with 89% of respondents indicating that they value the public footpath network, and 100% of respondents indicating that they would like access to the open countryside protected.

Policy AC2 – The Bridgewater Canal

Any development proposals along the Bridgewater Canal must ensure that any development is well designed and appropriate to the canal side setting, with particular consideration of materials, orientation, views, access, landscaping and vegetation. New development must respect, protect and enhance the canal as an historical asset.

Sympathetic development which protects, encourages and enhances the usage of the canal and the canal towpaths for leisure, recreational and tourism uses will be supported.

Development should not adversely affect the canal's wildlife, and should, where possible, demonstrate a net gain in biodiversity using appropriate evaluation methodologies and avoidance/ mitigation strategies. Compensatory measures (for example biodiversity offsetting) will be required if a net loss of biodiversity is likely. Where possible, complementary connective habitats should be provided.

Discharge of surface water to the Bridgewater Canal must be explored as early as possible in the site design process, during investigation of the surface water hierarchy. Early consultation with the Bridgewater Canal Trust should be undertaken.

7.9 Evidence and Justification

7.10 The Bridgewater Canal was the first canal in Britain to be built without following an existing watercourse. It was built in the 1760s and known as the Father of Canals, it revolutionised travel in the country. The Canal was an integral part of the industrial revolution, delivering fuel to power industrial areas of Manchester.

7.11 The Bridgewater Canal plays a significant role in the historic and landscape character of the parish. As highlighted above, the towpath affords the community a very pleasant pedestrian route which forms part of the Cheshire Ring, a 98 mile route of six historic canals which pass through Cheshire Staffordshire and Greater Manchester. The canal is an important recreation and community asset, and forms an important

wildlife corridor through the parish and is home to much wildlife, trees, flora and fauna. The canal is an attractive visual feature in the parish, providing valued views and vistas both to and from their banks and towpaths.

7.12 The Neighbourhood Plan questionnaire highlights the value that the community place on the canals, and the opportunity that it provides for recreation, leisure, and allowing easy access to the countryside, with 96% of respondents stating that they valued the watercourses of Little Bollington. The canal helps to define the character of the parish, highlighting the industrial heritage of the area. The canal provides valuable open space on the doorstep – where visitors and residents can walk, cycle, fish, sail, or enjoy the peacefulness and the wildlife.

7.13 Any development along the canal side must be sensitively designed and well sited in order to optimise views of the water, protect any existing valued views, generate natural surveillance of water space and encourage and improve access to, along and from the water.

7.14 The Bridgewater Canal Trust is made up of 7 local authorities and The Peel Group, and has been working to upgrade the towpath to become part of the Bridgewater Way in order to improve the historic towpath for community benefits such as walking and cycling. The Bridgewater Way includes a programmes of regeneration and renewal by introducing access points and new surfaces; focal points, public art and heritage; and a safe, appealing route. Work began in 2004 and 60% of the towpath has been completed, with aspirations to upgrade the remaining stretches which include the section within Little Bollington. The National Trust are also looking at how the Bridgewater Canal can be upgraded, through their Dunham Estate Future Project. The Trust view the canal as not only a piece of history, but as an excellent access route which should be used by local communities. It is hoped that this could change the pattern of travel patterns of local visitors to Dunham Massey, who could travel through the parish on a traffic free route, leading to improvements in sustainability. Funding is actively being sought and any developments leading to improvements of the towpath in the parish would be supported.



8. Community and Civic Assets Policy

8.1 The Little Bollington Neighbourhood Plan has the following objective:-

- To support and encourage the continued function of community and civic assets

Policy CCA1 – Community and Civic Assets

Proposals for the refurbishment and improvement of all community and civic facilities will be supported, subject to other policies within the Neighbourhood Plan. Changes of use of these buildings to non-community buildings which require planning permission will not normally be permitted, unless any replacement use will provide equal or greater benefits to the community, the facility is replaced elsewhere, or it is demonstrated that the facility is no longer required. Where possible, any future alternative uses should continue to serve the community.

Proposals for new community facilities will be supported, subject to other policies within the Neighbourhood Plan.

8.2 Evidence and Justification

8.3 Little Bollington has only a small number of community assets. These include a primary school and the parish church, both situated on the main road. The school is well attended, drawing children from a wide catchment area, and the parish church has an active congregation led by a very committed vicar. It attracts a congregation from within the village and areas beyond.

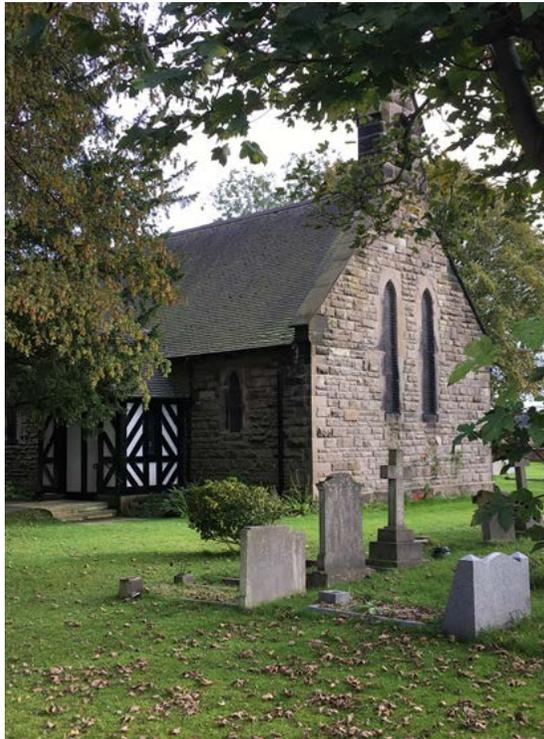
8.4 The community is fortunate to be able to use the school for events such as public meetings, community lunches, harvest suppers, film nights and village sporting events. As there are only limited facilities within the parish, the existing assets are therefore greatly used and valued by the community, being used as meeting places by local groups such as the WI and Mother and Toddler groups. Additionally, the school is used for after school clubs and is hired out for private events such as birthday parties.

8.5 There are services at the church each Sunday, and it is used for weddings and funerals, and holds communion services midweek for people who find it hard to attend on Sundays. As well as the typical harvest festivals and carol services, the church provides a place for tea and

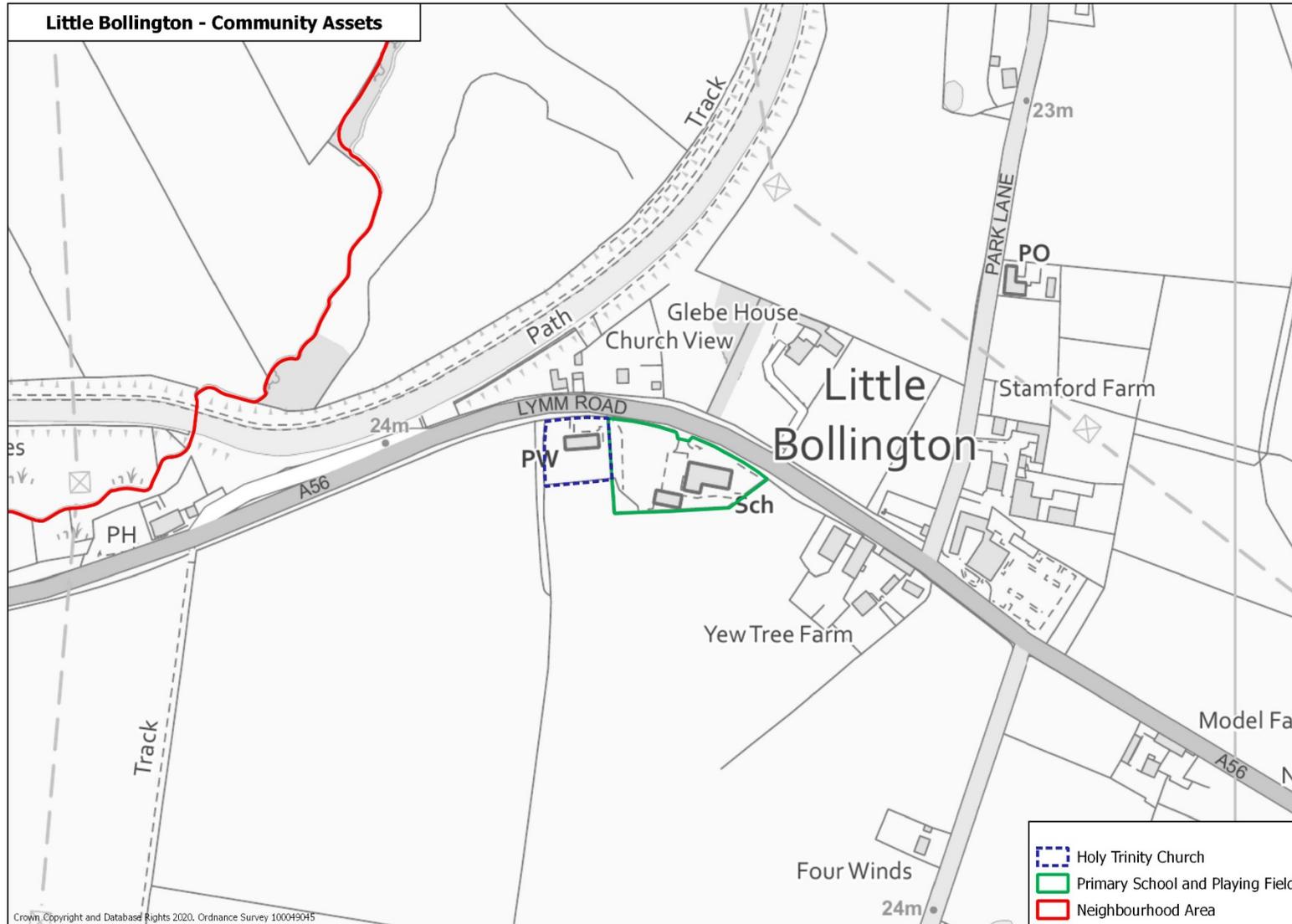
cake after community activities, such as the parish's summer rounders match, held on the adjacent school field. Additionally, the church regularly hosts the school children for themed services throughout the year.

8.6 Both the school and the church play an essential role in the community and life of Little Bollington. Over 80% of respondents to the Neighbourhood Plan questionnaire highlighted that they valued the civil facilities of the church and school.

8.7 In order to ensure the continued vibrancy and vitality of Little Bollington, it is essential that the loss of facilities is resisted where possible, and that the improvement and enhancement of facilities is supported.



8.8 Figure L – Community Assets



9. Local Economy Policy

9.1 The Little Bollington Neighbourhood Plan has the following objective:-

- To support and encourage a thriving local economy

Policy LE1 – The Local Economy

When considering proposals for employment uses, the following will be supported:

- a) The development of new small businesses and the appropriate small scale expansion of existing businesses
- b) Proposals that promote or provide facilities for home working and businesses operating from home
- c) The sympathetic conversion of existing buildings for business and enterprise
- d) The diversification of farms and rural businesses
- e) Agricultural and Horticultural enterprises
- f) Rural-based tourist attractions, visitor facilities and recreational uses.

Change of use from employment use, or drinking establishments will only be supported where it can be demonstrated that no alternative business user can be found through an appropriate and realistic marketing exercise for at least twelve months.

Large scale developments which would negatively impact the landscape character of Little Bollington, or would negatively impact on the attraction of visitors to the area will not be supported.

9.2 Evidence and Justification

9.3 Little Bollington has a higher than average proportion of people aged 16-74 who work from home (9.7% compared to the average in England of 3.5%). The parish also has a higher than average proportion of people in employment who work more than 49 hours a week (15.6%, compared to the England average of 13.3%). The parish has a noticeably higher percentage of 16-74 year olds who are self-employed (19.4% compared to the England average of 9.8%) (2011 Census). Additionally, only 3.2% of working residents use public transport to get to work, compared to 11% in England as a whole, and only 12.2% of people travel less than 2km to get to work, compared to the England average of 20%. The rural economy and local small businesses are therefore a vital and welcome part of village life, and any opportunities to develop either existing businesses, or that would enable the start-up of home working or new small businesses appropriate to the rural area and Green Belt status of the parish would be supported.

9.4 Additionally, there are multiple farmsteads in the rural area of Little Bollington which offer an opportunity for rural economic development, should they choose to diversify.

9.5 The parish welcomes many tourists, attracted to its proximity to Dunham Massey, its peaceful and picturesque setting, the canal and footpath network, and the welcoming and thriving public houses. There are also a small number of bed and breakfasts in the parish, catering for visitors. Tourism helps support the local economy and local businesses, and new initiatives and improvements to facilities which do not harm the existing character of Little Bollington will be supported. Large scale developments which would negatively impact the character of Little Bollington and negatively impact on the setting of Dunham Massey and the attraction of the area to visitors will not be supported.

9.6 The above policy will help to ensure that Little Bollington's rural economy can grow sustainability over the Plan period and beyond, and that existing businesses are supported and retained where possible.

Character area 1: Bollin Valley	
<p>Description</p> <p>The character area has been shaped by the River Bollin which meanders north-south through the valley. The floodplain is predominantly managed as pasture but also includes arable and rough grassland. Where present, field boundaries comprise a mixture of hedgerows and/ or post and wire fences. The area also contains scattered and isolated trees particularly adjacent to the river. In some instances trees have been able to establish along the river and are disrupting views from the registered park (e.g. viewpoint 2).</p> <p>Bollington Mill (Listed Grade II) is located towards the north west of the area and is visible from the western side of the registered park. Other urban structures within the area are limited but pylons transect the southern tip of the area and are visible in framed views from South Avenue. The pylons are also visible in framed views along Charcoal Drive where the structures appear above the Stables building.</p>	
<p>Relationship to significance of Dunham Massey</p> <p>The character area extends as a distinct valley beyond and below the level topography of the registered park with the pastoral landscape providing a contrast to the formal designed landscape of Dunham Massey. The open nature of the floodplain offers uninterrupted views through the valley with views contained by the surrounding wooded ridge.</p> <p>The Bollin Valley is a key view from Dunham Massey and is essential to its setting. The registered landscape has been intentionally designed to draw on and contrast with the pastoral qualities of the valley and provide long views across the valley.</p>	
<p>Key viewpoints</p> <ul style="list-style-type: none"> • Viewpoint 1: Goosefoot south side • Viewpoint 2: Obelisk/ Langham Grove • Viewpoint 3: South Avenue • Viewpoint 4: Perimeter walk 	
<p>Extent of National Trust ownership</p> <p>Most of the character area is within National Trust ownership. Bollington Mill and a strip of land alongside the Bridgewater Canal, fall outside of National Trust ownership.</p>	

Character area 1: Bollin Valley

Management objectives (all areas within National Trust ownership)

- Conserve the landscape as a rural pastoral valley.
- Conserve the meandering natural course of the River Bollin.
- Conserve views out of the registered park through the valley and to key features such as Bollington Mill and the wooded ridge to the southwest.
- Seek opportunities to increase the ecological value of the River Bollin and the floodplain through the creation of shallow/ scalloped banks and allowing seasonal flooding.
- Manage trees stock through selective thinning and coppicing to restore lost views from the registered park (e.g. from Viewpoint 2) and conserve the open nature of the valley.
- Allow low-intensive grazing within the character area and avoid applying fertilisers to encourage greater diversity in the grassland sward (to be informed by further ecological surveys).
- Seek opportunities to relocate the pylons to enhance intended views from the registered park (e.g. Viewpoints 3 & 4).
- Strengthen planting along the A56 to provide a robust screen and opportunities to augment existing and create further tree clumps and belts in the middle distance to enhance screening.
- Seek opportunities for some judicious planting of tree clumps in the valley or boundary within Character Area 3 to screen any future development whilst retaining the pastoral setting.
- Maintain the uninterrupted wooded ridgeline in views out of the park and monitor tall developments beyond the ridge that could overtop the ridge and impact on the rural views out from the park.

Character area 3: Estate land and wooded slopes

Description

The topography of the area gently slopes downwards from the wooded ridge to the south, northwards towards the River Bollin. The north facing slopes are divided by a network of medieval and post-medieval reorganised fields enclosed by hedgerows with standard trees. The fields vary in size and are managed for grazing and to produce arable crops.

A number of farms are scattered through the character area with some modern buildings and associated features (e.g. polytunnels) visible from the registered park. The village of Little Bollington is located within the northern boundary of the character area. Only parcels of land on the northern edge of the character area are under the ownership of the National Trust (shown in blue on the adjacent plan).

Two major highways transect the character area; the M56 crosses the southern portion with the A56 following the northern boundary. There are glimpses of the A56 from the registered park although these are partially screened by a hedgerow and tree planting. Although it is not possible to see the M56 from the registered park, the traffic from this major highway is audible and HGVs are partially visible.

Pylons run along the slopes and are often present in designed views from the registered park.



Relationship to significance of Dunham Massey

This character area is of exceptional importance to the setting of the Dunham Massey estate and to the 18th century designed landscape. The ridge with its mix of estate land and wooded field boundaries frames views through the avenues from the goosefoot and the main house. The slopes are also visible from the perimeter walk. The rural character of the present day landscape reflects that seen in the Harris paintings of the 18th century.

Key viewpoints

- Viewpoint 2: Obelisk/ Langham Grove
- Viewpoint 3: South avenue
- Viewpoint 4: Perimeter walk
- Viewpoint 9: West of stables building

Extent of National Trust ownership

Much of the character falls outside of National Trust ownership, apart from a modest area of land along the northern boundary of the character area.

Character area 3: Estate land and wooded slopes

Management objectives

- Conserve the uninterrupted skyline and seek to ensure any development either within the character areas or in the landscape beyond, does not visually breach or overtop the wooded backdrop.
- Conserve the rural character through managing the agricultural field structure, and historic farm buildings. Where possible intrusive features such as polytunnels could be screened by native hedgerows and tree planting.
- The undeveloped views to the ridgeline should be conserved as a key component of the designed landscape. Any new development in this area is likely to be visible from key viewpoints in the historic park and should be considered in the context of its impact on these viewpoints and from views within the registered park and sensitively designed to reflect the rural landscape character. Development should be contained beneath the height of the wooded ridge.
- Seek to reduce the impact of major infrastructure on the setting of Dunham Massey estate through strengthening native tree and hedge planting along the A56 and M56, avoiding street lighting at the junction of the A556 with the M56, and judicious tree planting in relation to new infrastructure (HS2).
- Seek opportunities to relocate the pylons to limit the impact of these structures on designed views out of the registered park.
- Maintain the uninterrupted wooded ridgeline in views out of the park and monitor tall developments beyond the ridge that could overtop the ridge and impact on the rural views out from the park.

Character area 9: Bollin North

Description

The character area straddles the meandering course of the River Bollin and is dominated by large irregular fields managed to support pasture and arable crops. Field boundaries are marked by managed hedgerows and trees. A cluster of agricultural buildings is located centrally along the north boundary and a water treatment works located on the eastern boundary.

Pylons can be seen at regular intervals through the character area.

Relationship to significance of Dunham Massey

Although it is likely the character area is located largely outside areas visible from the key viewpoints within the designed landscape, it is of importance to the setting of the registered park, e.g. as part of the visitor arrival route from the west. The area retains much of the historic landscape character which has been greatly influenced by the River Bollin.

Extent of National Trust ownership

The character area falls largely within National Trust ownership.

Key viewpoints

N/A

Management objectives

- Conserve the rural agricultural landscape to reflect historic setting of the registered park and Dunham Massey town.
- Conserve the meandering natural course of the River Bollin.
- Ensure planting surrounding water treatment works is managed to conserve a visual foil to the registered park.
- Seek opportunities to increase the ecological value of the River Bollin and the floodplain through the creation of shallow/ scalloped banks and allowing seasonal flooding.
- Allow low-intensive grazing within the character area and avoid applying fertilisers to encourage greater diversity in the grassland sward (to be informed by further ecological surveys).
- Seek opportunities to relocate the pylons.
- Conserve skyline views and ensure any future development within or beyond the area reflects the historic landscape character.



Character area 10: Woolstencroft estate

Description

This gently sloping agricultural landscape contains a network of regular and irregular fields which surround a large farm. A strip of woodland straddles the Agden Brook, which flows from the Bridgewater Canal in the southern part of the character area to the River Bollin to the north. A number of public footpaths cross the area linking Spring Lane with Dunham Woodhouses to the north and Little Bollington to the east.

Relationship to significance of Dunham Massey

Although the character area is predominantly located away from key viewpoints from the registered park, it is possible to gain glimpsed views across this area from Dunham Massey on the west side of the house. The area is important as this part of the historic estate retains much of its historic landscape character.

Extent of National Trust ownership

Almost the entire area is within the ownership of the National Trust. Only small sections along the southern boundary fall outside of the Trust's ownership.

Key viewpoints

There are potentially far reaching views from the western edge of the registered park across the character area including out towards Agden Bridge to the west.



Management objectives

- Conserve the rural agricultural landscape including hedgerows to reflect historic landscape management practices.
- Manage the woodland and Agden Brook as key features of the character area and to reflect their importance for nature conservation value and water management.
- Conserve skyline views and ensure any future development within or adjoining the area respects the historic landscape character of the Estate and does not impact on rural views out from the park.

Viewpoint 1: Goosefoot south side	
	
<p>Significance</p> <p>The goosefoot is the key component of the 18th century designed landscape at Dunham Massey with six avenues radiating to the north-east (towards Dunham Town), south-east (Charcoal Drive and Middle Avenue), south (Lam Walk and South Avenue), south-west (Langham Grove) and west (towards Little Bollington). The avenues were designed to frame views out of the park or through the parkland and to the surrounding landscape including the wooded ridge beyond to the south.</p>	<p>Location of Viewpoint 1</p> 
<p>Description</p> <p>The 18th century designed landscape, as depicted in the Harris paintings of the 18th century, remains largely intact. Views from the D of the goosefoot are therefore wide ranging with the formal avenues drawing attention to the distant landscape or eye-catchers such as the obelisk at the end of the Langham Grove.</p> <p>The wooded ridgeline which surrounds the estate to the south and east can be seen at the end of the South Avenue and Langham Grove. There are occasional distant flashes of traffic on the A56 at the end of South Avenue. The view along Charcoal Drive is interrupted by tree planting at the point where the avenue divides in two.</p> <p>To the west, along Smithy Drive there are longer views out across lower lying floodplain towards the mill at Little Bollington.</p>	
<p>Associated character area(s) (see following section for description of the character areas)</p> <ul style="list-style-type: none"> Character area 1: Bollin Valley Character area 2: Bollington floodplain Character area 3: Estate land and wooded slopes Character area 4: Home farm estate land Character area 5: Northern estate land Character area 7: Castle Hill 	

Viewpoint 2: Obelisk/ Langham Grove west over the Bollin Valley



Significance

This is a key view at the terminus of the formal parkland avenue out over the surrounding valley landscape. It creates a juxtaposition with the natural meandering river and grazed pasture of the Bollin contrasting with the structure and order of the formal layout. The obelisk marks the terminus of Langham Avenue in views from the mansion, with the landscape beyond providing the backdrop and setting. It is also the location of the perimeter walk designed to take in these contrasting views and show off the ordinary 'working' countryside and extent of the wider estate beyond. This view is key to understanding the significance of Dunham Massey as the fulcrum of a vast and powerful land holding as depicted in the Harris paintings (c. 1750).

Location of Viewpoint 2



Description

The topography creates a natural plateau on which the house and formal parkland are located, dropping steeply away at the perimeter wall to the lower lying Bollin Valley. The view is of a sinuous pastoral landscape with meandering natural river course, grazed pasture and tree clumps. Its openness and naturalness contrast markedly with the structured, formality of the parkland. The view terminates in the wooded ridgeline forming the valley slopes creating a sense of containment. Detracting features include the A56 and pylons within the floodplain.

Associated character area(s) (see following section for description of the character areas)

- Character area 1: Bollin Valley
- Character area 2: Bollington floodplain

Viewpoint 2: Obelisk/ Langham Grove west over the Bollin Valley

Character area 3: Estate land and wooded slopes

Viewpoint 3: South Avenue looking south across Bollin Valley towards the wooded ridge at the crest of the Bollin Valley



Significance

The South Avenue is located on the central axis to the main house with the width of the avenue affording framed views to the landscape beyond the designed parkland to the wooded ridge to the south. This view remains largely intact. It is significant as a key element of the formal parkland layout as depicted by Harris (1750) with the distant wooded backdrop terminating the framed view out.

Description

The ground at the end of the South Avenue slopes steeply southwards towards the River Bollin. The perimeter wall is located someway down the slope which allows uninterrupted views across the Bollin Valley and to wooded slopes above the valley.

The open grassland of the valley contrasts with the more wooded slopes, the topography of the lower slope itself being an important feature. The slopes which terminate the view contain fields, with close cropped hedgerows, punctuated by trees and small woodland belts which together create a more wooded character. Tree belts also screen the A56 and main M56 junction.

A pylon located with the valley to the south of the river is visible from this viewpoint and rises above the wooded ridge line. The associated cables are visible across the sightline. There are also glimpses of traffic on the A56 and the tops of HGVs are visible on the M56, and infrastructure associated with the M56 junction.

Associated character areas (see following section for description of the character areas)

Character area 1: Bollin Valley

Location of Viewpoint 3



Viewpoint 3: South Avenue looking south across Bollin Valley towards the wooded ridge at the crest of the Bollin Valley

Character area 3: Estate land and wooded slopes

Viewpoint 4: Perimeter walk



Significance

The perimeter walk along the parkland wall is part of the eighteenth century design and was intended to provide a series of incidental views out over the parkland wall to the River Bollin meandering through the pastoral landscape beyond. This view provides a strong contrast with the formal layout of the Old Park. It is also symbolic of the Estate as the fulcrum of a wider powerful land holding, and a juxtaposition of the ornamental and working landscape

Description

The perimeter walk was located above the south west slope which enabled views out above the perimeter wall to the River Bollin valley. The boundary is planted with trees resulting in glimpsed views out along the path.

Views from the perimeter are wide offering views in both directions through the valley and towards the wooded ridge line to the south.

The River Bollin follows a meandering course through the valley with sections of its steep banks planted with coppiced trees. It appears the River's banks have been artificially raised possibly to prevent seasonal flooding of the surrounding grazing pasture.

Pylons are located on the north facing slopes of the wooded valley. There are also glimpses of vehicles on the A56.

Associated character area(s) (see following section for description of the character areas)

Character area 1: Bollin Valley

Character area 3: Estate land and wooded slopes

Location of Viewpoint 4



Viewpoint 7: Charcoal Drive towards the stables building



Significance

The designed view along Charcoal Drive focuses on the Grade I Listed stables to the south of the Hall. The Drive is a significant feature of the designed landscape and would have formed one of the main approaches to the Hall.

Description

The view along the Drive is framed by deciduous avenue planting with woodland beyond. The sightline is therefore drawn along the avenue to the heart of the estate.

As with other locations within the registered park, views are confined laterally but are largely opened to the sky.

A pylon, with the landscape beyond, rises above the height of the stables.

Associated character area(s) (see following section for description of the character areas)

Character area 3: Estate land and wooded slopes

Location of Viewpoint 7



Appendix 3 – Locally Listed Heritage Assets

Name and Address The Old Post Office (and associated buildings), Park Lane, Little Bollington, WA14 4TQ.

Photograph



Description Standalone terrace (now converted to two properties) formally the post office for the parish. This two storey structure is set back from Park Lane behind picket fencing and a small portion of hedgerow. The building has a symmetrical front and is detailed with decorative features coloured in red to indicate its ownership by the Dunham Massey estate. The building has retained many of its historical features including its archway providing access to a rear courtyard. The Old Post Office has rooms for bed and breakfast and additionally has a number of outbuildings.

Assessment against the selection criteria

Architectural or historical character The building has retained many of its architectural detailing with a symmetrical front consisting of stone sills, brick lintels, and book end chimneys.

Historical Associations The former village shop and post office is approximately 200 years old. According to local sources, the outbuildings once contained a bakery.

'Local' Distinctiveness	The structure comprises red estate detailing with large boards, doors and above the carriage gateway displaying its ownership by the Dunham Massey estate – a common feature throughout the Parish.
Group Value	There is a clear distinction between the terraces fronting Park Lane and the series of outbuildings located to the rear.
Townscape Value	Its prominent position on Park Lane and the approach to the village centre, the building poses as a striking gateway in to Little Bollington.

Name and Address The Swan with Two Nicks, Park Lane, Little Bollington, WA14 4TJ

Photograph



Description The Swan with Two Nicks is a pub which connects to former farm buildings to the left, and multiple extensions to the rear. The building is situated in the centre of Little Bollington village and is accessed via Park lane, a single tertiary route. The two storey building fronts on to the road, with a small setback for outdoor seating. The building has a symmetrical front and architectural features such as Flemish bond brick detailing horizontally through the centre of the building, and brick window arches.

Assessment against the selection criteria

Architectural or historical character The building uses red brick with Flemish bond detailing. The windows are detailed with brick window and door arches, and stone window sills, which have been painted black.

Historical Associations From the medieval period into the twentieth century, the entire village of Little Bollington belonged to the estate of Dunham Massey. During this period, each building was given a number by which it was referred to in the estate papers – The Swan with Two Nicks was Bollington Tenement No. 17.

'Local' Distinctiveness	The use of red brick, as well as Flemish bond is a common architectural feature across the whole Parish. Window and door arches are also commonly found on the older buildings.
Group Value	The pub is within the historic village centre. It is located among similar buildings, some of which are designated heritage assets. The courtyard to the rear formed by outbuildings and former barns is an attractive townscape feature.
Townscape Value	The building is known as the heart of Little Bollington Village, and is one of the main community hubs.

Name and Address Ivy Lodge, Park Lane, Little Bollington, WA14 4TH

Photograph



Description The cottage is a heritage asset which is owned by the Dunham Massey estate, which is evident through the use of the burgundy coloured fascias and detailing. Cream render also covers the whole building. The cottage is detached, and has had extensions and has associated outbuildings. Architectural features include the arched windows, bookend windows and stone window sills.

Assessment against the selection criteria

Architectural or historical character Cream render is used across the whole cottage and its extensions. The burgundy colours indicate its ownership by the Dunham Massey Estate. The cottage has arched door and window frames with stone window sills, as well as book end chimneys.

Historical Associations Due to the windows being smaller in size, the cottage can be dated as prior to 1850. This indicates that it was one of the original buildings in the village centre, as well as a historic building owned by the Dunham Massey Estate.

'Local' Distinctiveness	Typical in scale and mass to many of the traditional properties in the area. The arched windows are a particular distinctive feature not commonly found locally and worthy of particular note in this category.
Group Value	This property sits apart from others – limited group value.
Townscape Value	One of the few rendered buildings in the parish and occupying a prominent location on Park Lane means that this is a key local landmark within the townscape.

Name and Address Former Stamford Arms Public House (and associated outbuildings), Lymm Road, Little Bollington, WA14 4SU

Photograph



Description A handsome mock Tudor detached building and converted stables, formerly the Stamford Arms. The combination of red brick, half timbering and the well-proportioned veranda to the front, produce a striking building which is symmetrical in design (aside from the chimney). Gables and chimneys give it a decorative frontage which has been preserved and has the potential to act as a key architectural feature of the village. There are some limited modern additions but these have not undermined the completeness of the ensemble. This is one of the few 'high' Victorian buildings in the parish.

Assessment against the selection criteria

Architectural or historical character This is a fine example of a 'high' Victorian design within the parish. The completeness of the public house, its outbuildings and stabling is becoming increasingly rare within the countryside.

Historical Associations Coach house and stabling on the historic turnpike. Original turning circle/ pull in still exist on the site. Its location on the turnpike and route to Little Bollington Village and the Dunham Massey Estate is also important here.

'Local' Distinctiveness This is a very distinctive local building in a prominent position.

Group Value	There is an eclectic mix of architectural styles on Lymm Road, forming its character. The completeness of the public house/ hotel, outbuildings and stabling means that this group of buildings is particularly important. Elsewhere the completeness is often lost through post-war modifications.
Townscape Value	The building acts as a local landmark, situated on the corner between Lymm Road and Park Lane, marking the access road to the core of the village. As a result this building and plot forms a 'gateway' feature.

Name and Address Brookside Cottage, Lymm Road, Little Bollington, WA14 4TD

Photograph



Description A dark brick cottage with stone and brick side extension under a grey coloured stone flagged roof. Characterised by two double chimneys on either side, the original part of the cottage has a striking symmetry, decorated with stone quoins, and brick detailing around the windows on the extension. The windows are leaded, and the property has a catslide roof on the left and is attached to a small workshop on the right hand side both with slate roofing.

Assessment against the selection criteria

Architectural or historical character Attractive symmetrical design with the traditional stone flagged roof. The scale of the flags decreases as this moves towards the ridge in the traditional manner.

Historical Associations None known.

'Local' Distinctiveness	This is a good example of a traditional symmetrical farmhouse with associated outbuildings and workshop uses. The materials are local in character.
Group Value	Property sits alone – limited.
Townscape Value	This building sits at the western gateway to the parish occupying a prominent location fronting the A56.

Name and Address Holy Trinity Church, Lymm Road, Little Bollington, WA14 4SZ

Photograph



Description Founded in 1869 as the district church for the townships of Agden and Bollington. The church comprises a stone building with a half-timbered porch in black and white. Detailed by a bell gable at one end and a round chimney at the other end, creating interest for the roofscape. The relationships of the church to the landscape to the south is particularly important offering an open character to the church's setting.

Assessment against the selection criteria

Architectural or historical character	The half-timber porch is particularly distinctiveness and of course counterpoints the typical stone built place of worship. Stone built buildings are rare in Little Bollington, the materials making this relatively uniquely locally.
Historical Associations	Founded for the townships of Agden and Bollington and clearly an important community building as the parish's traditional place of worship. The graveyard has connections to local families from the area with relatives buried there.
'Local' Distinctiveness	Not applicable – the materials are not of the local vernacular.

Group Value	Not applicable – however this does form part of the civic area to the village with the nearby school which does not have any architectural significance.
Townscape Value	Limited as it is set back from the road and does not form part of a group. Glimpsed views through trees from the A56.

Name and Address New Farm Cottages, Lymm Road, Little Bollington, WA14 4SS

Photograph



Description A two-storey red brick quad terrace of residential properties set back from Lymm Road with long front gardens. Constructed in mixed red/ brown brick with red painted detailing, the property displays a striking symmetry. Interest is added via both flat rooved and pitched style dormers, and 3 chimneys. Has some features which are reminiscent of ‘arts and crafts’ style including the central jettied section and mixed dormer arrangement.

Assessment against the selection criteria

Architectural or historical character The catslide roof at rear is an interesting feature as is the jettied central section coupled with front dormers means that this is an interesting architectural ensemble. The use of redbrick is common across the parish area, as are the white wooden window frames but the mix of different components makes this building unique in its overall style.

Historical Associations Built for the farmworkers of New Farm by the Dunham Massey estate. Still in that common ownership and therefore painted finishes in the estate colours.

'Local' Distinctiveness	Very few buildings in Little Bollington from the post war period which makes this building quite distinctive. The quad format is unique.
Group Value	Not applicable
Townscape Value	This is a prominent building at one of the gateways to Little Bollington.

Name and Address New Farm and Outbuildings, Lymm Road, Little Bollington, WA14 4SS

Photograph



Description As the name describes this is a relatively modern farm complex, almost certainly dating from the late Georgian and Victorian period. The red brick 2.5 storey farmhouse, built in the typical symmetrical three bay design of many of the others in the parish, making good use of the roofspace created by the large front to rear pitch. Two chimneys to the gables are distinctive features. Turning to the outbuildings, whilst some modernisation has occurred many of the original buildings at one and 1.5 storeys remain intact; all loosely based around a farmyard.

Assessment against the selection criteria

Architectural or historical character Typical architectural styles and materials throughout, which exhibits many of the visual qualities of the rural area. The completeness of the complex is worthy of note.

Historical Associations Clearly this is new farm – likely as a result of enhanced returns from farming following enclosure (the field pattern here belies later enclosure in the 19th century) and the requirement for a new farm to accommodate this. Still in the overall ownership of the Dunham Massey Estate.

'Local' Distinctiveness	This is part of the area's history and is built using traditional local materials of the period.
Group Value	The farm complex has important group value when considered as a whole.
Townscape Value	Limited. However, this is an important feature within the overall landscape and is very visually prominent.

Name and Address Hillcroft (and associated outbuildings) Park Lane, Little Bollington, WA14 4TH

Photograph



Description A large detached dwelling accessed from Park Lane with a series of outbuildings including barns and coach houses. Unlike other large buildings in the parish this house does not appear to have been related to a ‘farm’ or agricultural holding. The house itself is built of distinctive blue-red brick (not found elsewhere) with brighter orange brick quoins and window surrounds as well as a series of distinctive string courses that can best be appreciated on the rear elevations of the outbuildings. The buildings have pronounced bargeboards with deep eaves and finials.

Assessment against the selection criteria

Architectural or historical character This is a highly distinctive building which includes a number of architectural features (many Victorian in character) that do not appear elsewhere in the parish. Clearly built as a large house with associated outbuildings and coach houses, the integrity of this overall complex is particularly notable.

Historical Associations	In fact, unlike many of the other larger buildings and farms in the parish, this house does not form part of the Dunham Massey Estate. This makes it distinctive from other properties.
'Local' Distinctiveness	This is a distinctive building, mainly as a result of the brick detailing and the roof and eaves detail.
Group Value	The complex does form part of a distinctive group in the village, however it does sit separately from other buildings in the village.
Townscape Value	The buildings have a distinctive views from the rear across the fields from public footpaths and other public vantage points.

Name and Address Barns at the rear of Stamford Farmhouse, Park Lane, Little Bollington, WA14 4TQ

Photograph



Description Whilst Stamford Farm House itself is a listed heritage asset, the L shaped barn directly to the rear of the homestead is not. The barns themselves are particularly attractive two storey which exhibit traditional agricultural buildings of the period with local red brick, segmented arched topped windows and large doors and other openings at ground floor. Whilst outside of the residential curtilage they are an important feature of the traditional farmstead.

Assessment against the selection criteria

Architectural or historical character Traditional brick built, slate roofed two storey barn. The building appears to retain much of its traditional features and completeness as well as mimicking some of the features from the listed farmhouse in terms of eaves and roof detailing.

Historical Associations Linked to the Grade II listed farmhouse.

'Local' Distinctiveness Part of the traditional farmstead complex at Stamford Farm.

Group Value Important as part of the farmstead group with the listed farmhouse.

Townscape Value Whilst behind the main listed farmhouse these buildings can clearly be seen from the rear (from public footpaths) and Park Lane. They form part of the 'backdrop' to the character of the area. The enclosure of the traditional farmstead is an important feature.

